

# KALAMAZOO COUNTY LAND BANK AUTHORITY EASTSIDE SQUARE SUNRISE PLAZA IMPROVEMENTS

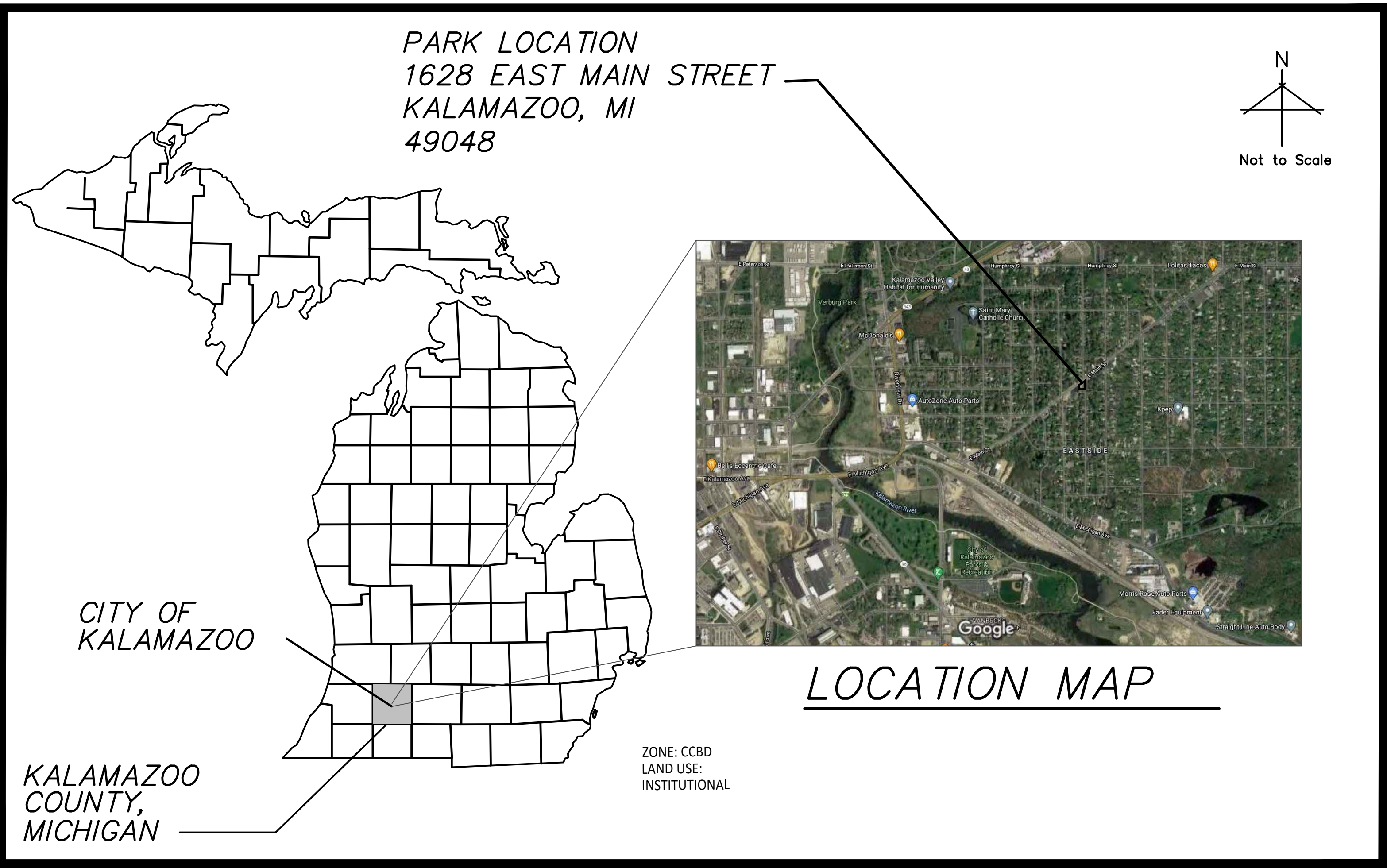
KALAMAZOO, MICHIGAN

**OWNER:**  
**KALAMAZOO COUNTY  
LAND BANK AUTHORITY**  
1523 RIVERVIEW DRIVE, SUITE A  
KALAMAZOO, MICHIGAN 49004  
269-216-4124 TELE  
269-216-6345 FAX

**LANDSCAPE ARCHITECT:**  
**O'BOYLE COWELL BLALOCK  
& ASSOCIATES, INC.**

350 EAST MICHIGAN AVENUE, SUITE #415  
KALAMAZOO, MICHIGAN 49007  
269-381-3357 TELE  
269-381-2944 FAX

## LOCATION MAP



## SHEET INDEX

NO.	
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C0.1	EXISTING CONDITIONS PLAN
C1.0	SITE DEMOLITION PLAN
C2.0	OVERALL SITE LAYOUT PLAN
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C4.0	SITE DETAILS
L1.0	OVERALL LANDSCAPE PLAN

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Issued For:	Date
SITE PLAN REVIEW	01-08-21
SPR RE-SUBMITTAL	02-03-21
ISSUE FOR BID	02-10-21

Project:

**Eastside Square  
Sunrise Plaza  
Improvements**

**Kalamazoo, Michigan**

Sheet Title

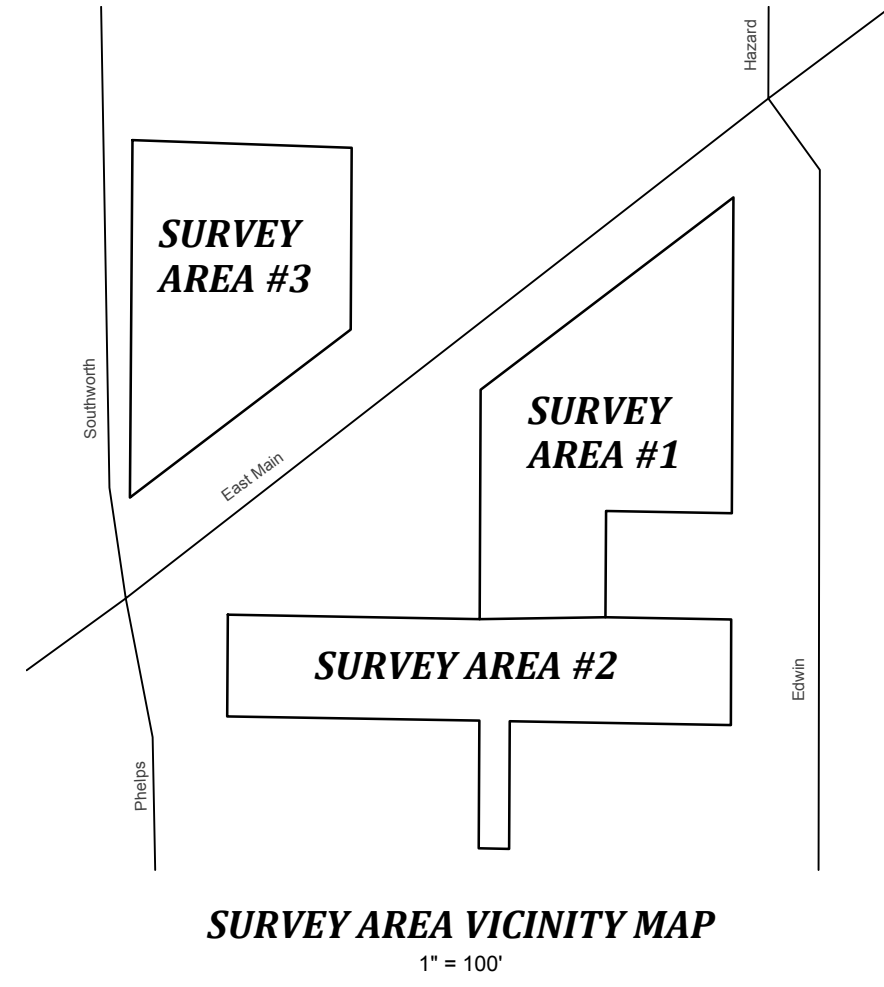
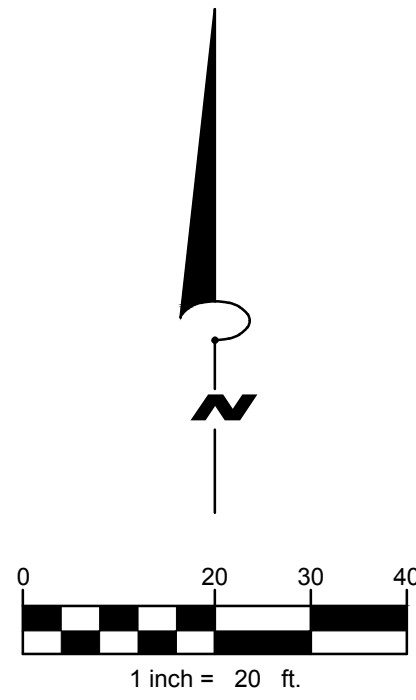
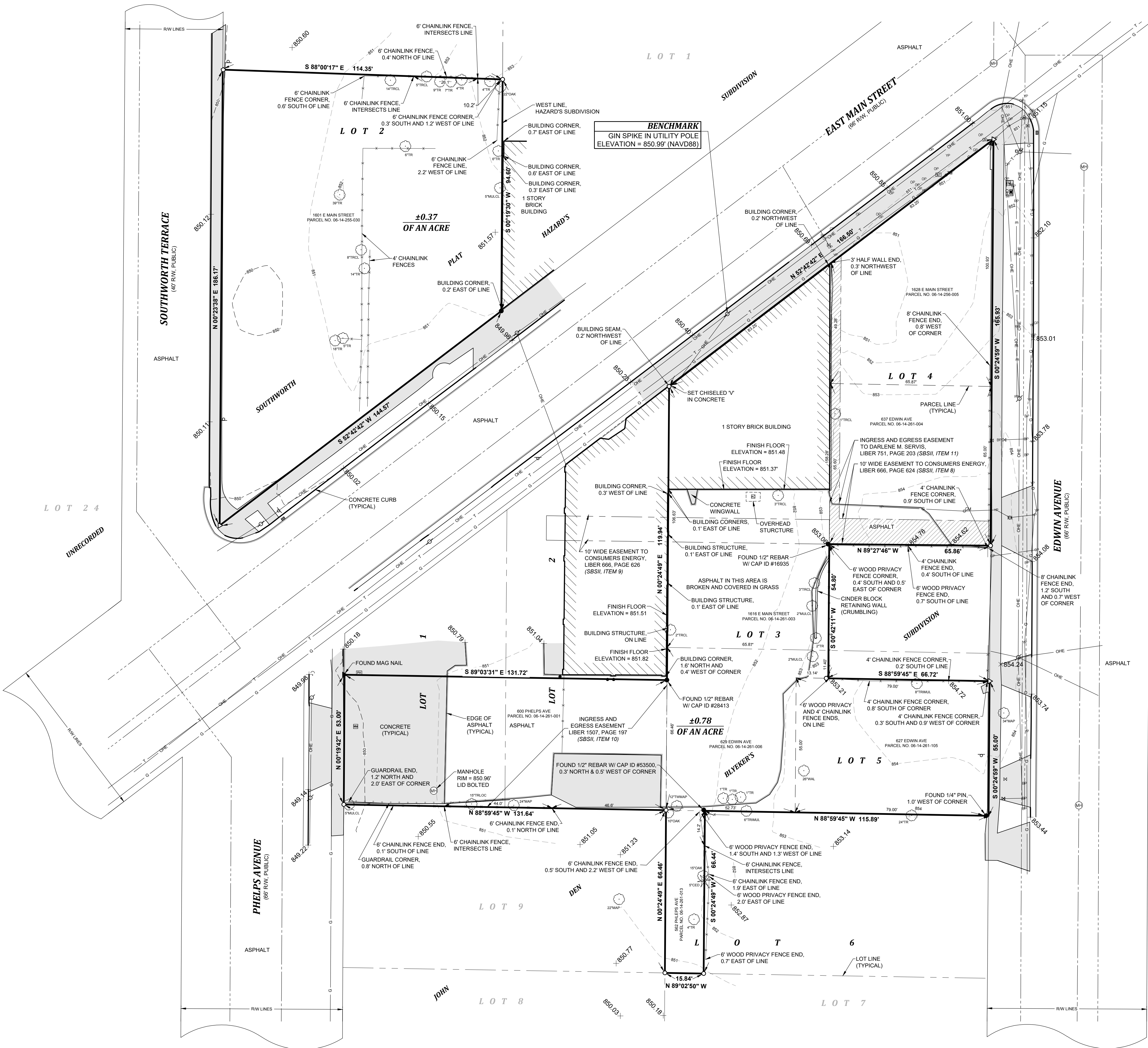
**Cover Sheet**

### NOTES:

- 1) Except where other wise indicated on the plans or in the proposal and supplemental specifications or special provisions contained herein, all materials and workmanship shall be in accordance with Michigan Department of Transportation Standard Specifications for Construction, 1996 Edition.
- 2) Call Miss Dig, 1-800-482-7171 three working days, excluding Saturday, Sunday and holidays, before starting your project.



BOUNDARY AND TOPOGRAPHIC SURVEY  
IN THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 2 SOUTH, RANGE 11 WEST, CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN



LEGAL DESCRIPTION PER EXHIBIT "A", COMMITMENT FOR TITLE INSURANCE PREPARED BY CHICAGO TITLE OF MICHIGAN, INC., COMMITMENT NO. 391131102NBU, COMMITMENT DATE SEPTEMBER 25, 2020:

THE SOUTH 53 FEET OF LOTS 1 AND 2, LOT 3, LOT 4 EXCEPT THE SOUTH 44 FEET THEREOF; LOT 5 EXCEPT THE NORTH 11 FEET OF THE EAST 66 FEET OF LOT 5, AND THE WEST 15.84 FEET OF LOTS 6 AND 7, OF JOHN DEN BLYEKER'S SUB., ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 5 OF PLATS, PAGE 12, KALAMAZOO COUNTY RECORDS.

ALSO, PART OF THE NORTHEAST QUARTER OF SECTION 14, TOWN 2 SOUTH, RANGE 11 WEST, BEING MORE PARTICULARLY DESCRIBED AS:

COMMENCING ON THE WEST LINE OF HAZARDS SUBDIVISION OF SECTION 14, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 5 OF PLATS, PAGE 21, KALAMAZOO COUNTY RECORDS, AT ITS INTERSECTION WITH THE NORTH LINE OF EAST MAIN STREET; THENCE NORTH 94.6 FEET ALONG SAID WEST LINE; THENCE WEST 114 FEET TO THE EAST LINE OF SOUTHWORTH TERRACE; THENCE SOUTH 186 FEET ALONG THE EAST LINE OF SOUTHWORTH TERRACE TO THE NORTH LINE OF EAST MAIN STREET; THENCE NORTHEASTERLY 143.6 FEET ALONG THE NORTH LINE OF EAST MAIN STREET TO THE WEST LINE OF SAID HAZARDS SUBDIVISION OF SECTION 14 TO THE POINT OF BEGINNING.

SUBJECT TO ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD, OR OTHERWISE.

SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED IN A FULL AND ACCURATE TITLE SEARCH.

BEARINGS ARE RELATED TO THE MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.

THE RELATIVE POSITIONAL PRECISION OF EACH CORNER IS WITHIN THE LIMITS ACCEPTED BY THE PRACTICE OF PROFESSIONAL SURVEYING IN MICHIGAN.

Aaron D. Smith

AARON D. SMITH PS - 4001043068  
asmith@gowightman.com



12/17/2020  
DATE

LEGEND

- |                                     |                               |
|-------------------------------------|-------------------------------|
| ○ = SET 1/2" REBAR W/ CAP ID #43068 | BP = BLUE PAINT               |
| ▷ = SET MAG NAIL                    | GP = GREEN PAINT              |
| ○ = SET CHISELED MARKING            | MH = MANHOLE                  |
| ● = FOUND IRON (AS NOTED)           | CI = CURB INLET               |
| ▷ = FOUND MAG NAIL                  | PP = PAY PHONE (DISCONNECTED) |
| ○ = UTILITY POLE                    | ○ = SIGN                      |
| ○ = GUY WIRE                        | • = POST                      |
| □ = ELECTRIC METER                  | ○ = SPOT ELEVATION            |
| □ = AIR CONDITIONER                 | ★ = CONIFEROUS TREE           |
| RP = RED PAINT                      | CED = CEDAR                   |
| TM = TELEPHONE MARKER POST          | ○ = DECIDUOUS TREE            |
| □ = TELEPHONE PEDESTAL              | MAP = MAPLE                   |
| □ = COMMUNICATION CLOSET            | MULCL = MULBERRY CLUSTER      |
| □ = COMMUNICATION CABINET           | OAK = OAK                     |
| □ = COMMUNICATION VAULT             | TRLOC = TRIPLE LOCUST         |
| OP = ORANGE PAINT                   | TRMUL = TRIPLE MULBERRY       |
| KV = GAS VALVE                      | TR = TREE                     |
| GM = GAS MARKER POST                | TRCL = TREE CLUSTER           |
| YP = YELLOW PAINT                   | TWMAP = TWIN MAPLE            |
| WV = WATER VALVE                    | WAL = WALNUT                  |
| WM = WATER METER                    |                               |
- NAVD88 = NORTH AMERICAN VERTICAL DATUM OF 1988
- OHE — = OVERHEAD UTILITY LINES
- E — = APPROXIMATE BURIED ELECTRIC LOCATION
- — — = APPROXIMATE SANITARY SEWER LOCATION
- — — = APPROXIMATE WATER LOCATION
- G — = APPROXIMATE BURIED GAS LOCATION
- T — = APPROXIMATE BURIED TELEPHONE LOCATION

NOTES:

BLANKET EASEMENT FOR INGRESS AND EGRESS OVER THE SOUTH 53 FEET OF LOTS 1 AND 2, JOHN DEN BLYEKER SUBDIVISION, LIBER 5, PAGE 12, KALAMAZOO COUNTY RECORDS.

THE UNDERGROUND UTILITIES SHOWN, HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



WIGHTMAN

BENTON HARBOR

269.927.0100

KALAMAZOO

269.327.3532

ALLEGAN

269.673.8465

ROYAL OAK

248.791.1371

www.gowightman.com

AARON D. SMITH

PS - 4001043068

PROJECT ADDRESS:

EAST MAIN PARK

POCKET PARK

KALAMAZOO, MI 49004

KALAMAZOO COUNTY LAND

BANK AUTHORITY

1523 RIVERVIEW DRIVE, SUITE A

KALAMAZOO, MI 49004

2. ADDED PARCEL

DIMENSIONS

ADS 12/17/2020

1. ADDED PARCEL LINES.

ACE 12/16/2020

REVISIONS

NOVEMBER 25, 2020

DATE: NOVEMBER 25, 2020

SCALE: AS NOTED

DRAWN BY: ACE

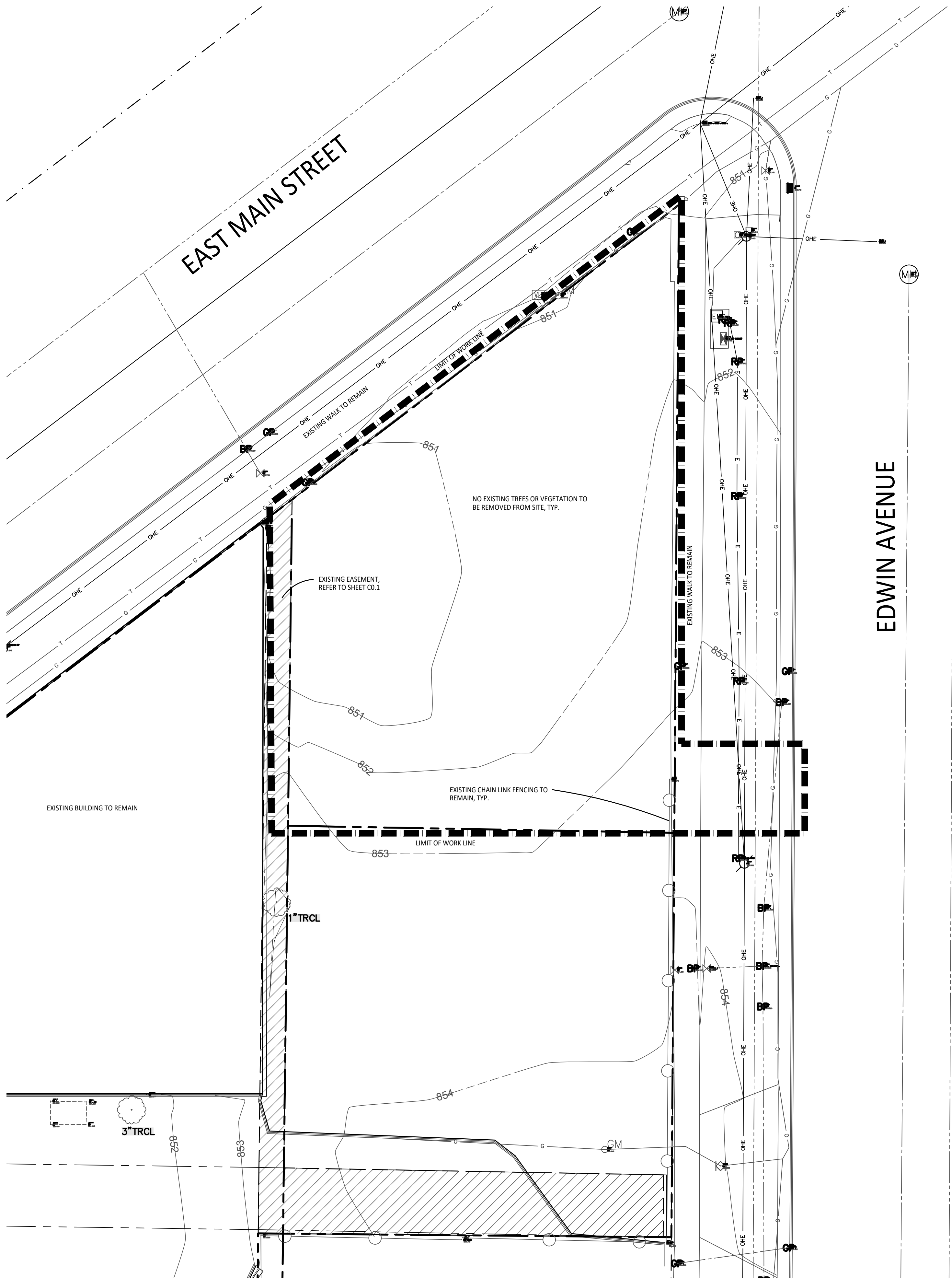
CHECKED BY: GDH

BOUNDARY AND  
TOPOGRAPHIC  
SURVEY

JOB No. 204340

C0.1





DEMOLITION NOTES:

- 1. SURVEY OF EXISTING CONDITIONS PROVIDED BY WIGHTMAN, 433 EAST RANSOM STREET, KALAMAZOO, MICHIGAN 49007 (269)327-3532.
- 2. VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171.
- 3. PROTECT ALL TREES & EXISTING FEATURES TO REMAIN AS SPECIFIED.
- 4. REFER TO LAYOUT PLAN FOR LIMITS OF WORK.
- 5. DISCREPANCIES BETWEEN SITE AND PLANS SHOULD BE REPORTED TO THE PROJECT MANAGER IMMEDIATELY.
- 6. ALL AREAS OF TREE CLEARING SHALL BE STAKED FOR ARCHITECT'S APPROVAL PRIOR TO CLEARING.
- 7. ALL TOPSOIL AND EXCESS FILL MATERIAL SHALL BE STOCKPILED ON SITE SEPARATELY FOR LATER RE-USE. LOCATE STOCKPILES IN AREAS AS DIRECTED BY CONSTRUCTION MANAGER AND PROTECT FROM EFFECTS OF EROSION.

DEMOLITION LEGEND:

■ ■ ■ LIMIT OF WORK



350 East Michigan Avenue, Suite #415  
Kalamazoo, Michigan 49007  
Phone (269) 381-3357  
Fax (269) 381-2944

Landscape Architecture  
Urban Planning  
Parks & Recreation  
Campus & Institutional Planning  
Camp Planning & Design

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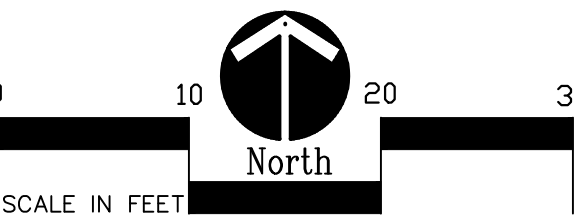
Project:

Eastside Square  
Sunrise Plaza  
Improvements

Kalamazoo, Michigan

Sheet Title

Demolition Plan

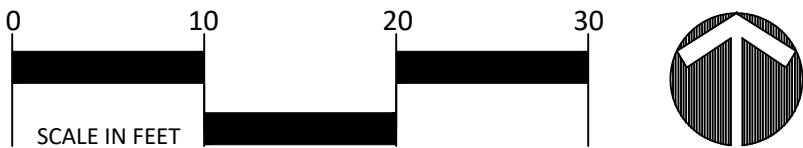


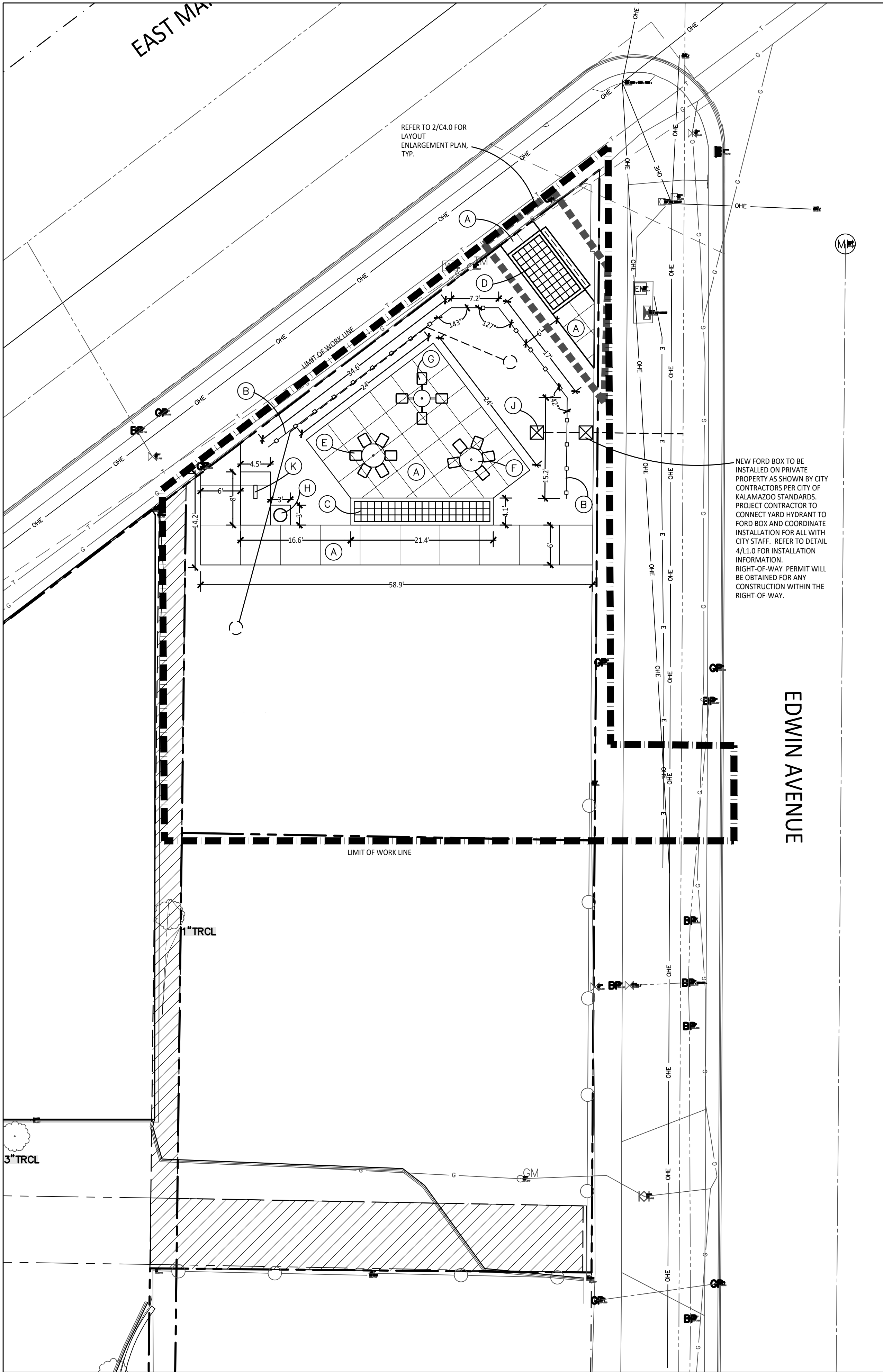
Job No. Sheet No.

22007

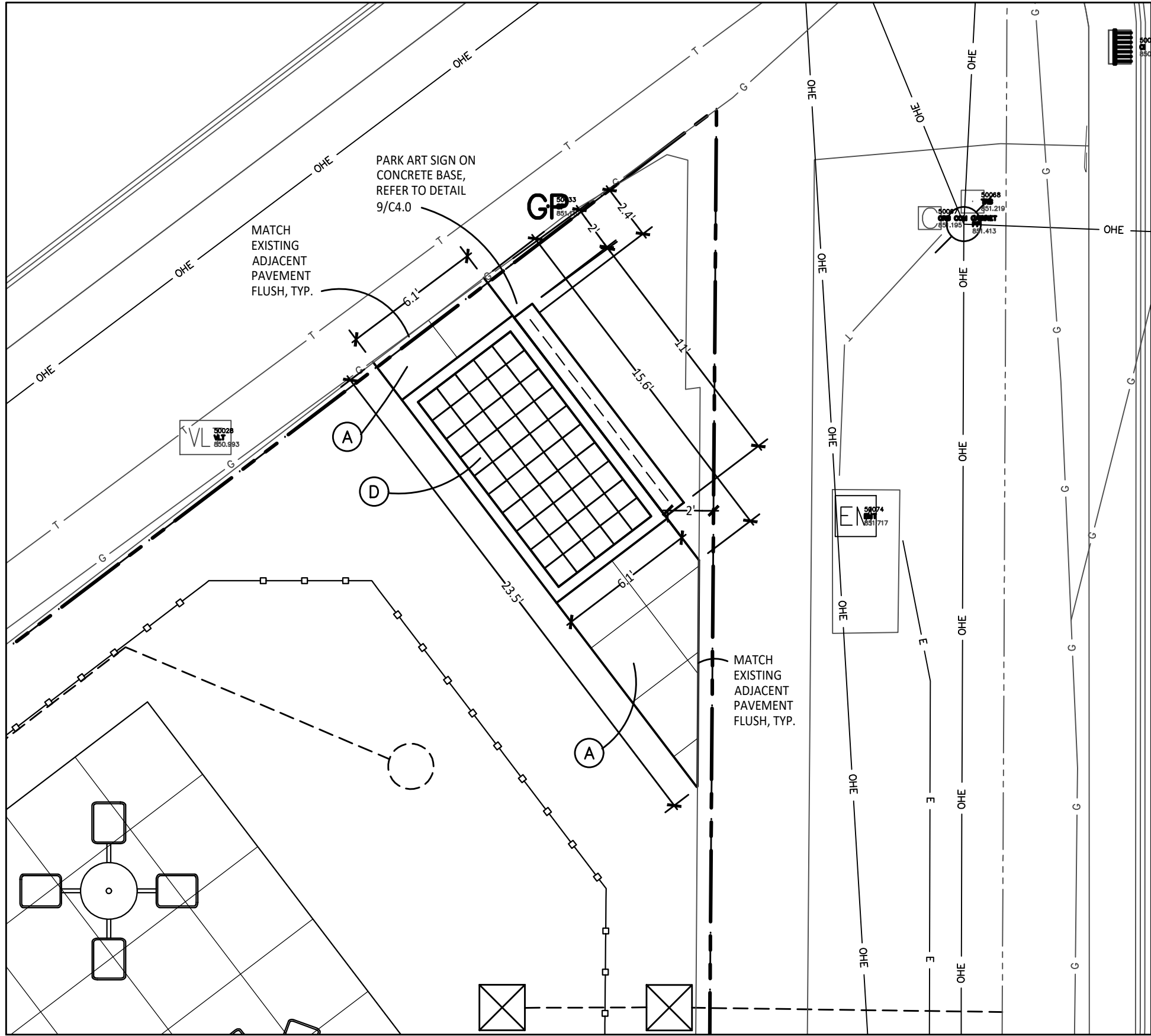
C1.0

1 Site Demolition Plan  
Scale: 1"=10'-0"

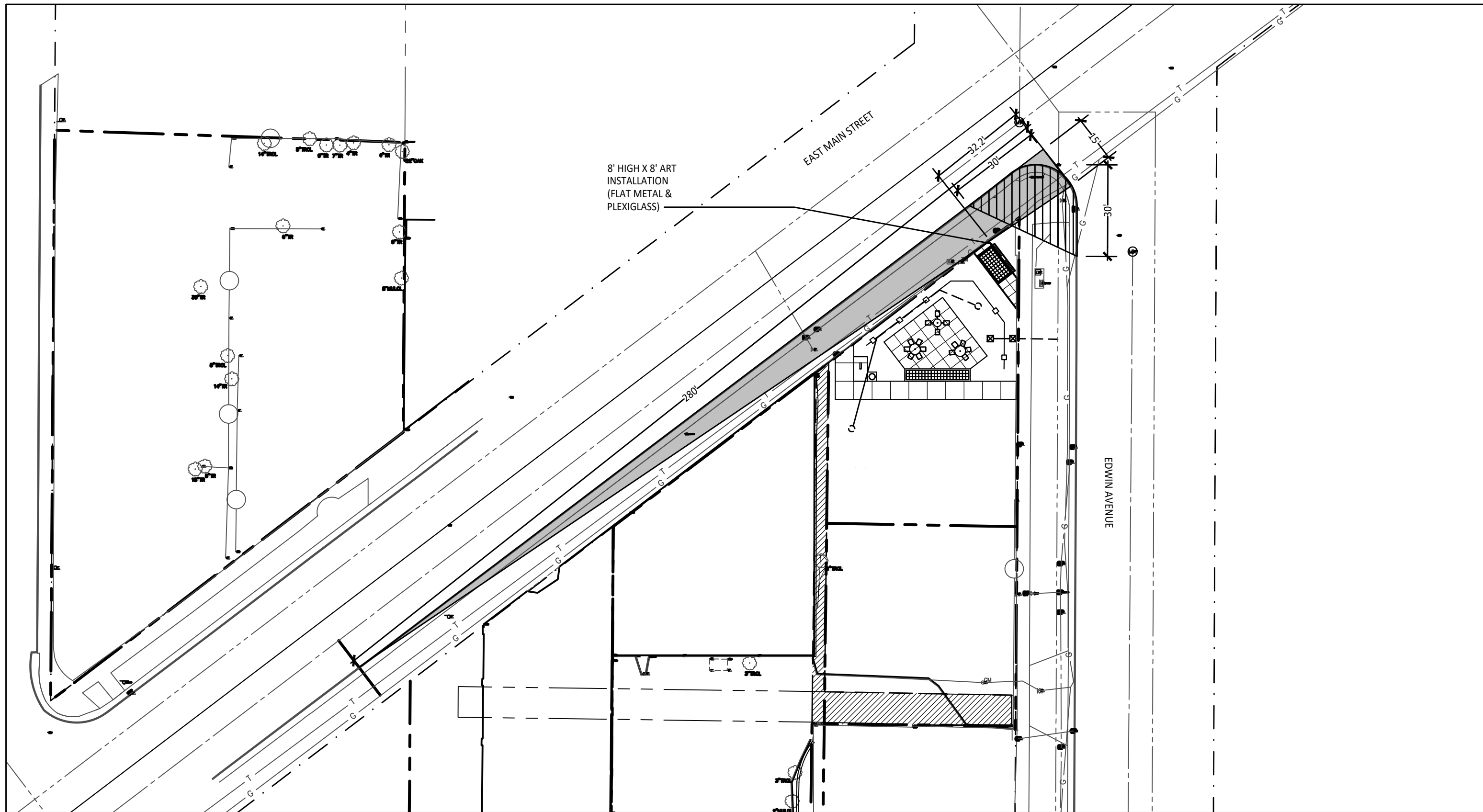




1 Site Layout Plan  
Scale: 1"=10'-0"



2 Site Enlargement Layout Plan  
Scale: 1"=5'-0"



3 Intersection Sight Line Plan  
Scale: 1"=30'-0"

- LAYOUT NOTES:
1. SURVEY OF EXISTING CONDITIONS PROVIDED BY WIGHTMAN, 433 EAST RANSOM STREET, KALAMAZOO, MICHIGAN 49007 (269)327-3532.
  2. PAVEMENT DIMENSIONS AND RADII ARE TO EDGE OF PAVEMENT OR BACK OF CURB.
  3. DISCREPANCIES BETWEEN SITE AND PLANS SHOULD BE REPORTED TO THE PROJECT MANAGER IMMEDIATELY.
  4. VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171.
  5. PROVIDE BARRIER FREE PARKING SIGNS FOR ALL BARRIER FREE PARKING SPACES. ALL SIGNS TO COMPLY WITH THE MDOT MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
  6. SITE LAYOUT POINTS SHOULD BE ESTABLISHED AND PROTECTED FOR FUTURE SITE WORK.

PROPOSED FEATURES LEGEND:

SYMBOL	DESCRIPTION
— X —	4' HIGH DECORATIVE METAL FENCE
■■■■■■■■	LIMIT OF WORK

KEY	DESCRIPTION	DETAIL
(A)	CONCRETE WALK	6/C4.0
(B)	3' HIGH DECORATIVE METAL FENCING	3/C4.0
(C)	CONCRETE BASE A FOR ARTIST TILES	7/C4.0
(D)	CONCRETE BASE B FOR ARTIST TILES	9/C4.0
(E)	6 SEAT DINING HEIGHT TABLE	1/C4.0
(F)	5 SEAT ADA DINING HEIGHT TABLE	2/C4.0
(G)	4 SEAT CASUAL HEIGHT TABLE	4/C4.0
(H)	TRASH RECEPTACLE	5/C4.0
(J)	YARD HYDRANT	4/L1.0
(K)	BIKE RACK	8/C4.0

SIGNS	DESCRIPTION	DETAIL
(S1)	ART PIECE (N.I.C.)	SEE SPECS.

- BARRIER-FREE NOTES
- BARRIER-FREE PARKING AND ACCESSIBLE ROUTE(S) MUST COMPLY WITH THE AMERICANS WITH DISABILITIES ACT AND MICHIGAN BARRIER-FREE CODE REQUIREMENTS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- 1:50 (2%) MAXIMUM CROSS-SLOPE ON ACCESSIBLE ROUTE.
  - NO CHANGES IN LEVEL GREATER THAN 1/2" ALONG ACCESSIBLE ROUTE.
  - 1:20 (5%) MAXIMUM LONGITUDINAL SLOPE ON ACCESSIBLE ROUTE (EXCEPT WHERE RAMPS ARE PROVIDED).
  - 1:50 (2%) MAXIMUM SLOPE (IN ANY DIRECTION) IN B.F. PARKING AND ACCESS AISLES.

**ocba**  
LANDSCAPE ARCHITECTS

350 East Michigan Avenue, Suite #415  
Kalamazoo, Michigan 49007  
Phone (269) 381-3357  
Fax (269) 381-2944

Landscape Architecture  
Urban Planning  
Parks & Recreation  
Campus & Institutional Planning  
Camp Planning & Design

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Project:

**Eastside Square Sunrise Plaza Improvements**

**Kalamazoo, Michigan**

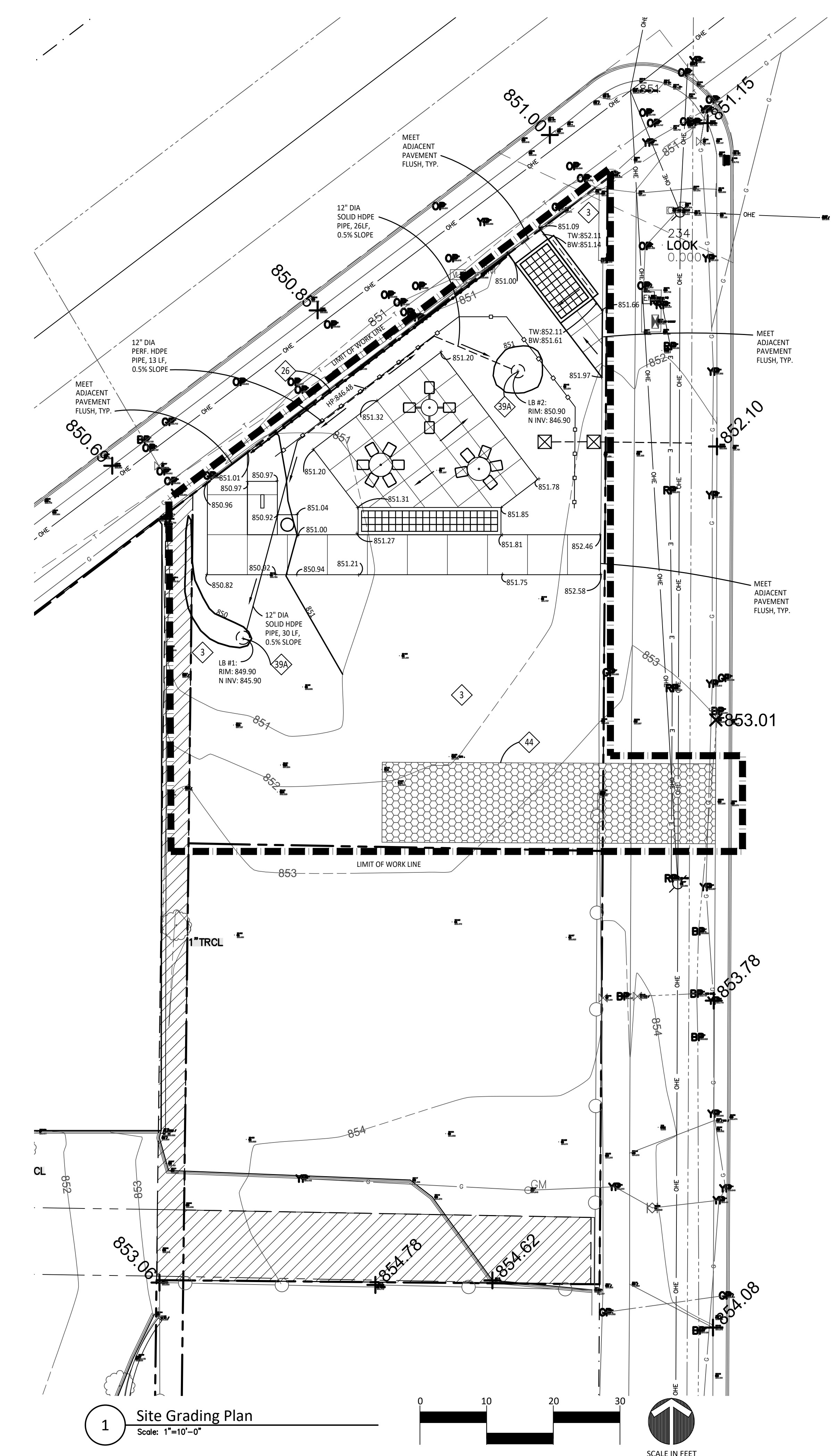
Sheet Title

**Layout Plan**

Job No. Sheet No.

22007 **C2.0**





GRADING NOTES:

1. SURVEY OF EXISTING CONDITIONS PROVIDED BY WIGHTMAN, 433 EAST RANSOM STREET, KALAMAZOO, MICHIGAN 49007 (269)327-3532.
2. VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171.
3. ALL NEW PAVEMENTS AND TURF AREAS ARE INTENDED TO DRAIN FREELY WITH NO PONDING. IF THIS CANNOT BE ACHIEVED USING THE PROPOSED GRADES, NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR RESOLUTION.
4. ALL NEW PAVEMENT ELEVATIONS AT EXTERIOR DOORS SHALL MATCH EXISTING FINISH FLOOR ELEVATIONS, TYPICAL.
5. FINISH GRADE SLOPE AT ALL BARRIER FREE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2% IN ALL DIRECTIONS, TYPICAL.
6. ADJUST TOP OF EXISTING MANHOLES, CATCH BASINS, VAULT COVERS, ETC. TO NEW FINISH GRADE AS REQUIRED.
7. SEE SITE MECHANICAL AND SITE ELECTRICAL PLANS FOR ALL ADDITIONAL SITE UTILITY DEMOLITION AND CONSTRUCTION.

IMPORTANT NOTE

GENERAL EARTHWORK NOTE:

CUTS AND FILLS AT THIS SITE MAY OR MAY NOT BALANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE REQUIRED EARTHWORK VOLUMES BASED ON THE GRADING PLAN SHOWN. IF FILL IS REQUIRED, THE CONTRACTOR SHALL INCLUDE THE REQUIRED VOLUME OF IMPORTED CLASS II SAND IN THE BASE BID PROPOSAL. IF EXCESS SOILS NEED TO BE SPOILED, THE CONTRACTOR SHALL INCLUDE HAULING AND SPOILING SOILS OFF SITE IN THE BASE BID PROPOSAL. NO CONTRACT COST ADJUSTMENTS WILL BE CONSIDERED FOR EARTHWORK REQUIRED TO BALANCE THE SITE.

IMPORTANT NOTE

EROSION CONTROL TIMELINE

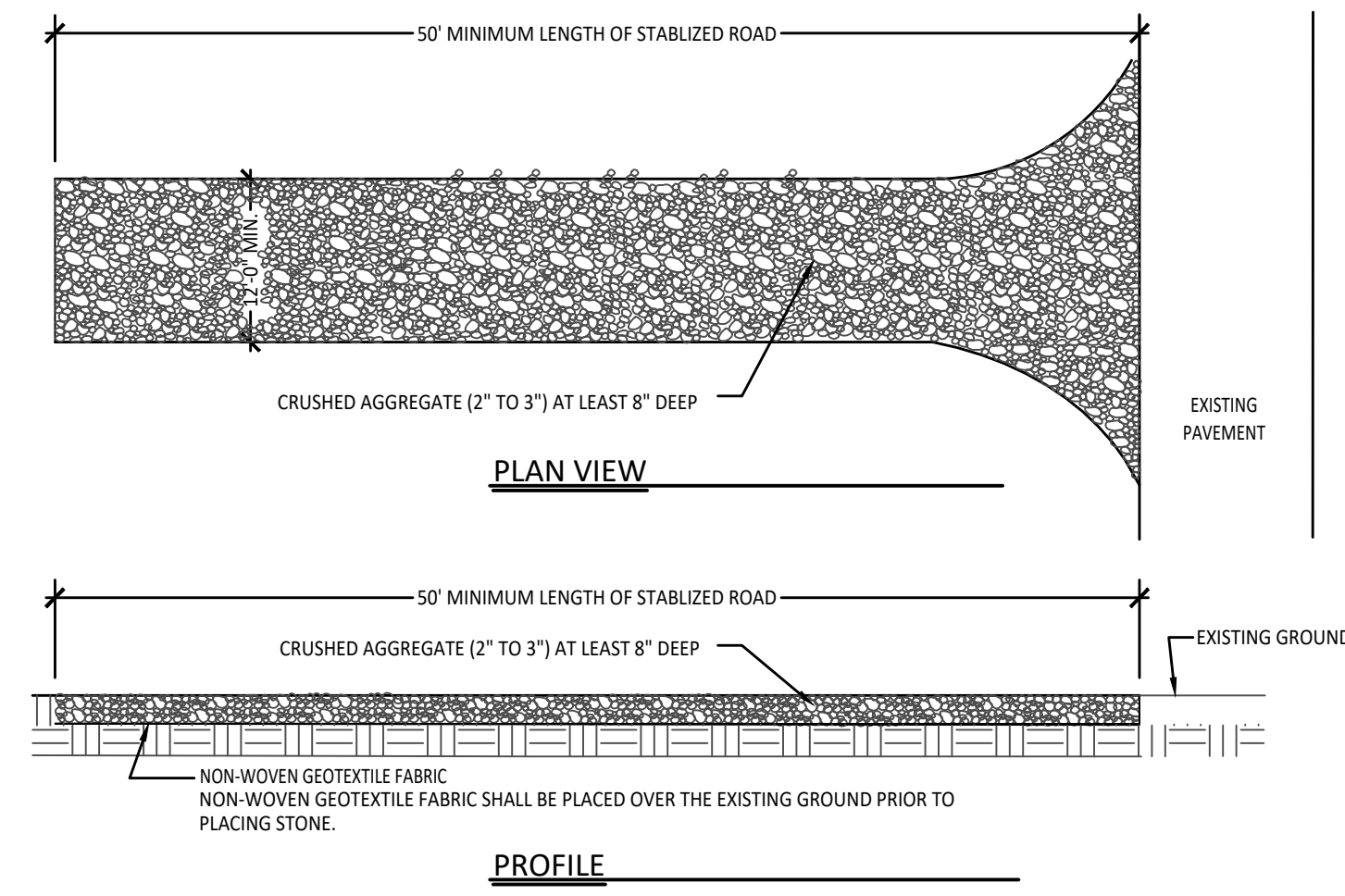
ITEM	DESCRIPTION	APPROXIMATE TIME FRAME	NOTES:
1.	INSTALL SILT FENCING / PERIMETER EROSION CONTROL	SPRING '21	1. CONTRACTOR SHALL MONITOR AND MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT THE CONSTRUCTION PERIOD.
2.	STRIP & STOCKPILE TOPSOIL	SPRING '21	
3.	INSTALL STORM SEWER STRUCTURES AND PIPING	SPRING '21	2. ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS REQUIRED TO MINIMIZE SILT LEAVING THE CONSTRUCTION SITE.
4.	INSTALL INLET SEDIMENT FILTERS AT CATCH BASINS	SPRING '21	
5.	INSTALL PAVEMENT SUB-BASE	SUMMER '21	
6.	INSTALL TEMPORARY STABILIZATION SEEDING	SUMMER '21	
7.	INSTALL CONCRETE PAVING	SUMMER '21	
8.	FINISH GRADE AND SEED / STABILIZE ALL AREAS	FALL '21	

EROSION CONTROL REQUIREMENTS:

ALL CONSTRUCTION SHALL COMPLY WITH THE SOIL EROSION AND SEDIMENTATION CONTROL ACT (P.A. 347 OF 1972, AS AMENDED) AS ADMINISTERED BY CITY OF KALAMAZOO AND KALAMAZOO COUNTY. THE FOLLOWING EROSION CONTROL DEVICES ARE REFERENCED IN THE STANDARD EROSION CONTROL HANDBOOK PUBLISHED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION. (MDOT DRAWING R-96-C, 8-9-2001)					
ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE REMOVED AT THE END OF CONSTRUCTION. TEMPORARY EROSION CONTROL DEVICES SHOULD BE IN PLACE PRIOR TO EXCAVATION, TO THE EXTENT POSSIBLE.					
KEY	DESCRIPTION	TEMPORARY / PERMANENT	KEY	DESCRIPTION	TEMPORARY / PERMANENT
3	PERMANENT/TEMPORARY SEEDING	P	39A	INLET PROTECTION FABRIC DROP	T
26	GEOTEXTILE SILT FENCE	T	44	GRAVEL ACCESS APPROACH	T

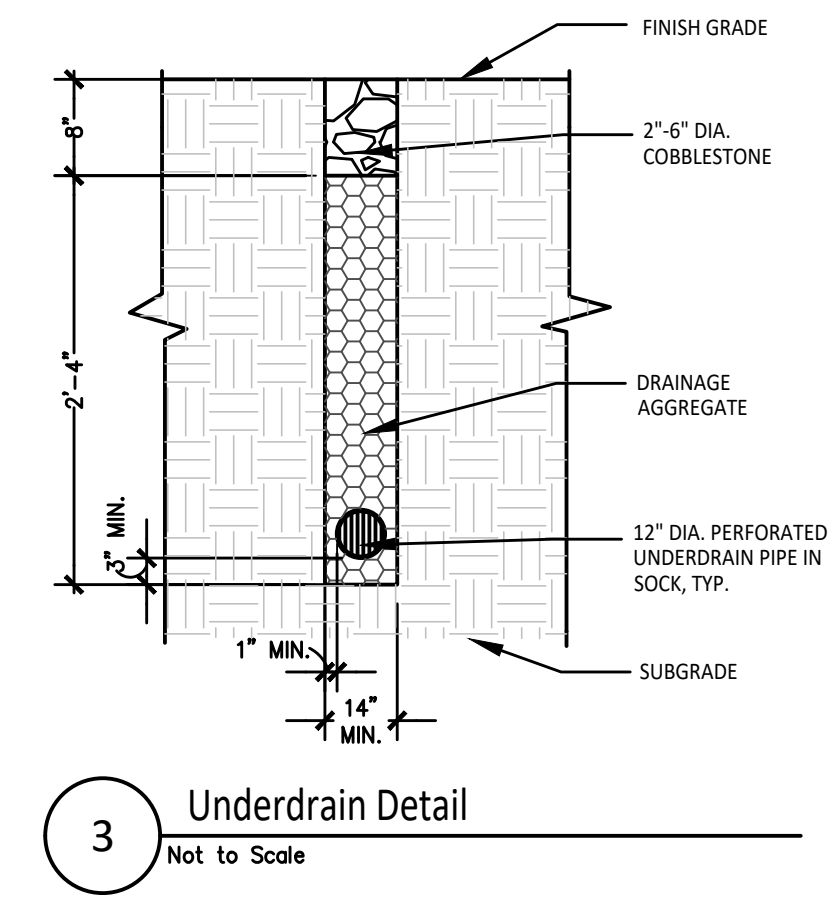
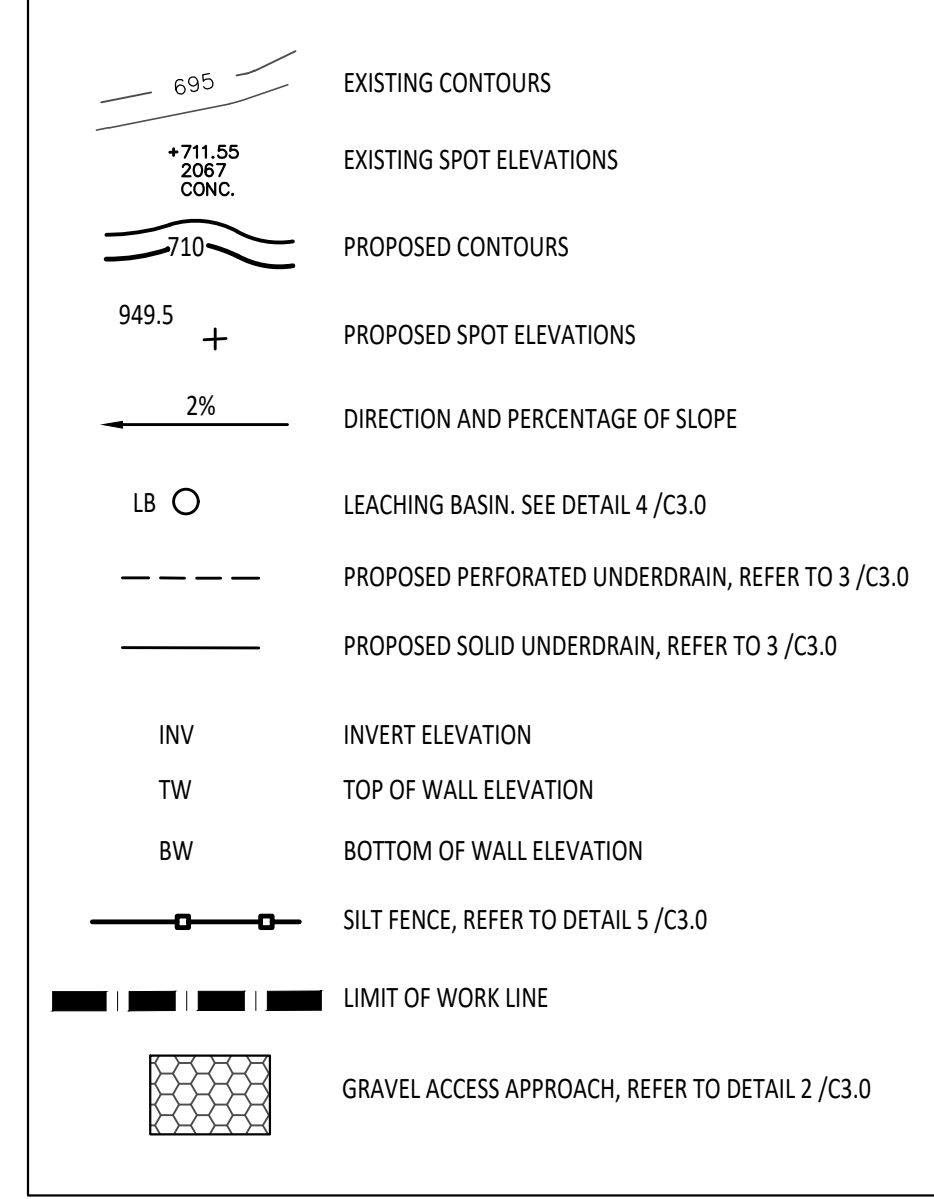
STORM STRUCTURE SCHEDULE :

STORM SEWER SYSTEM STRUCTURE SUMMARY						
PROPOSED STRUCTURE #	DIAMETER	RIM TYPE	RIM ELEVATION AT FLOW LINE	INVERT ELEVATION	INVERT DIRECTION	COMMENTS
LB #1	2'	EJW 6508 - O	849.90	845.90	NORTHEAST	
LB #2	2'	EJW 6508-O	850.90	846.90	NORTHWEST	

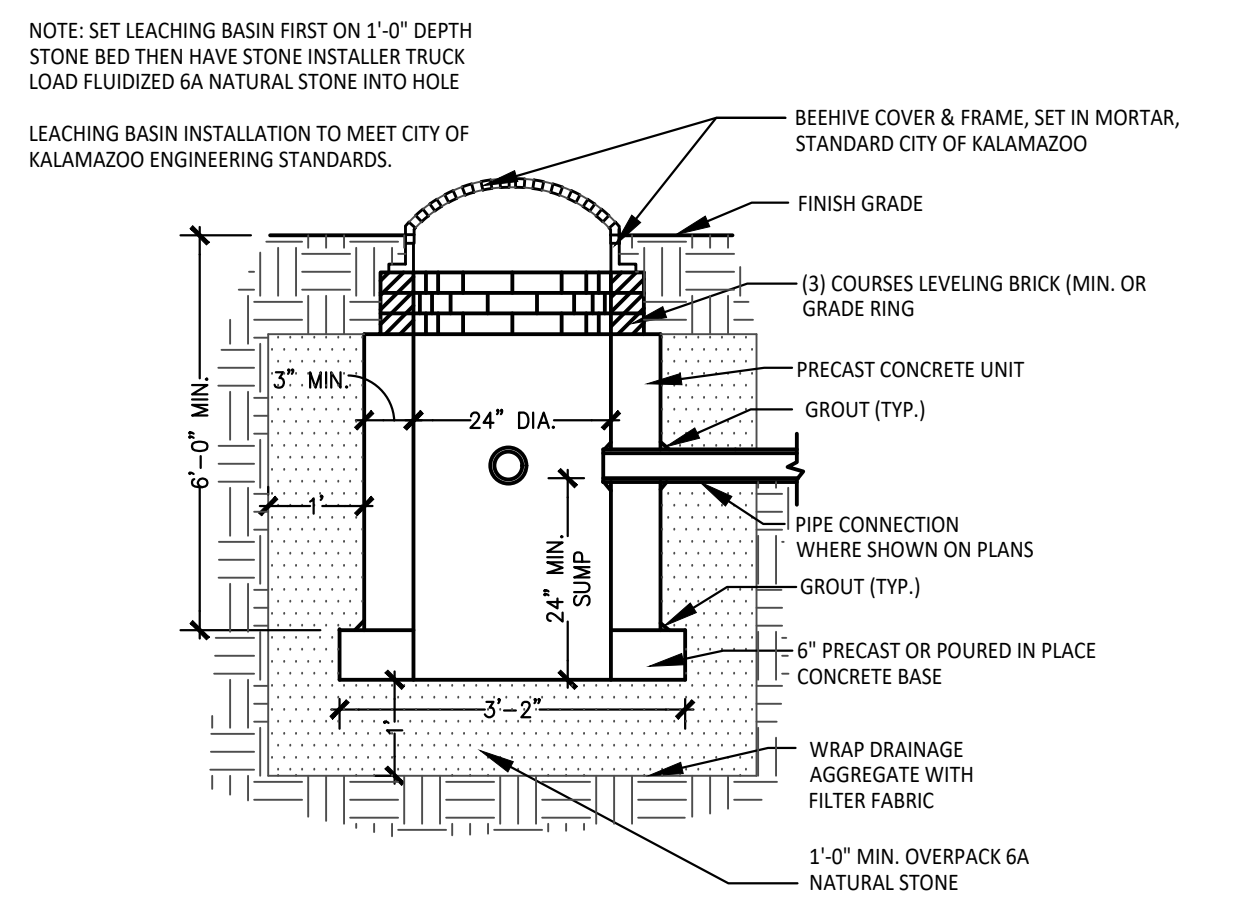


2 Stabilized Construction Access Detail  
NOT TO SCALE

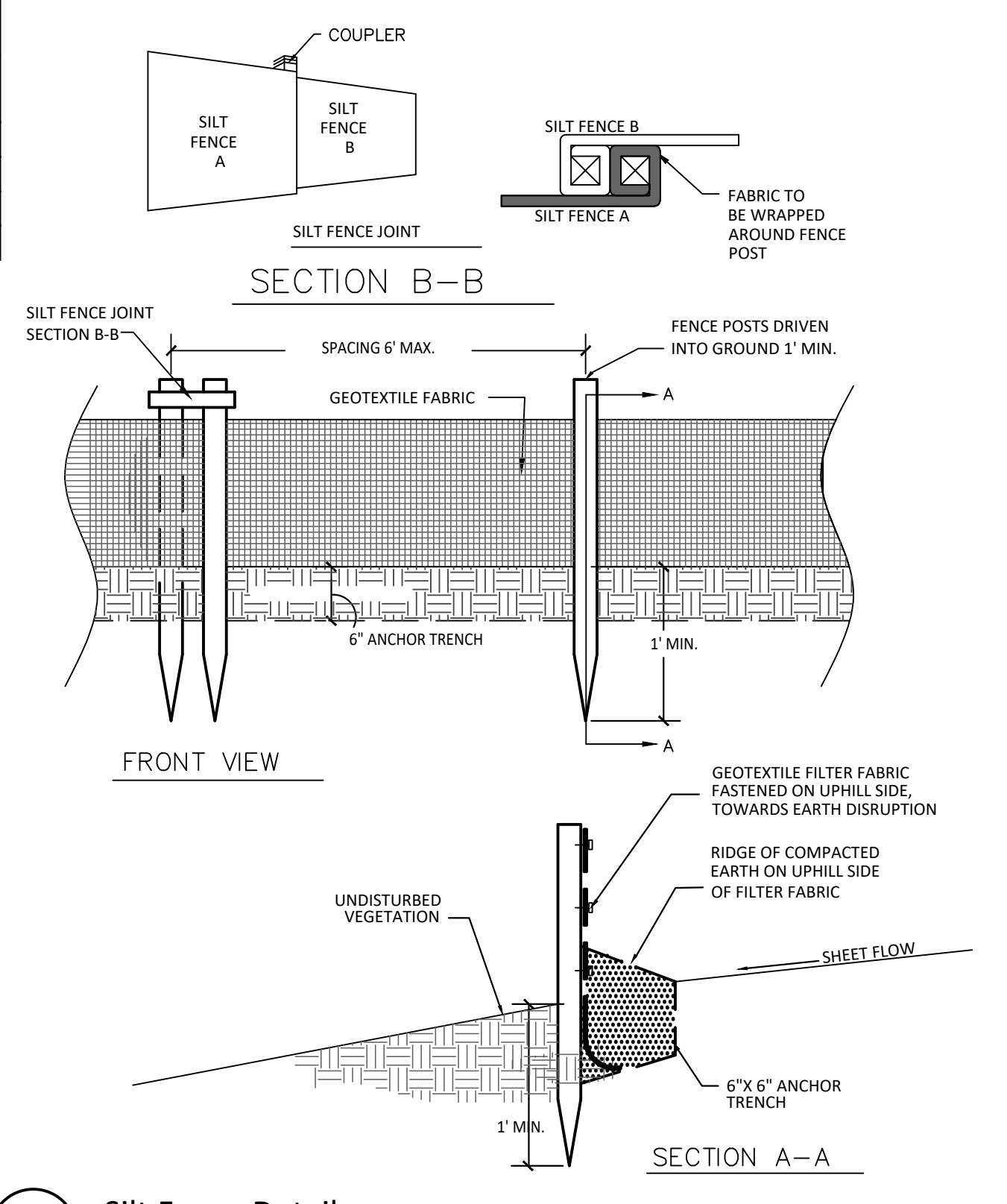
PROPOSED FEATURES LEGEND:



3 Underdrain Detail  
Not to Scale



4 24" Dia. Leaching Basin Detail  
Not to Scale



5 Silt Fence Detail  
Not To Scale



350 East Michigan Avenue, Suite #415  
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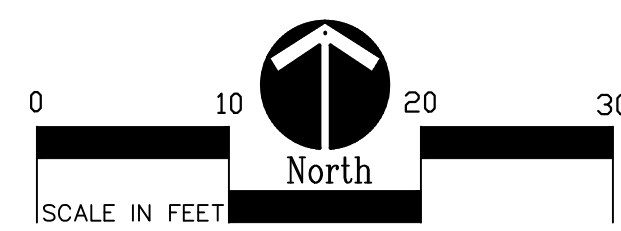
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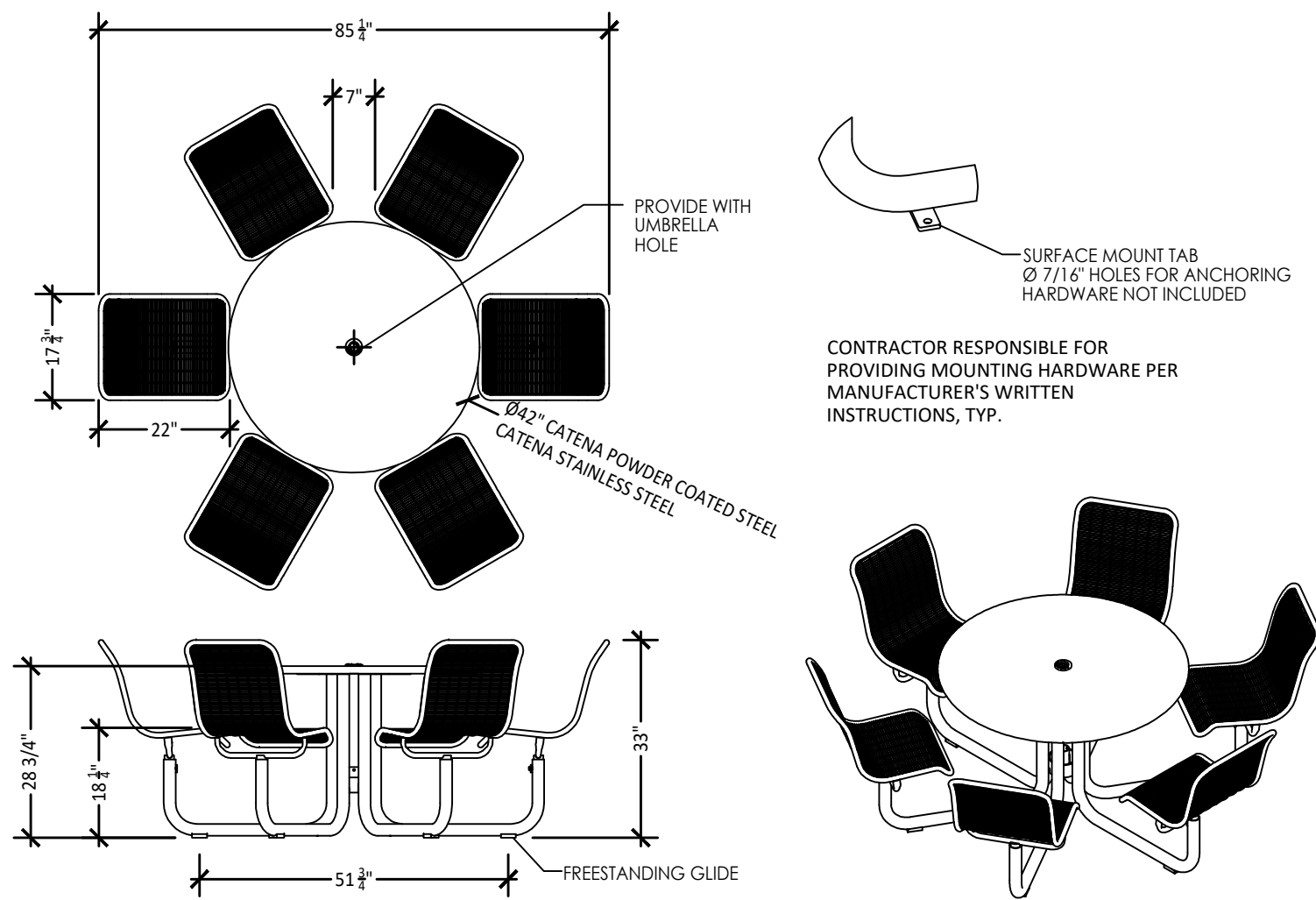
Grading Plan



Job No. Sheet No.

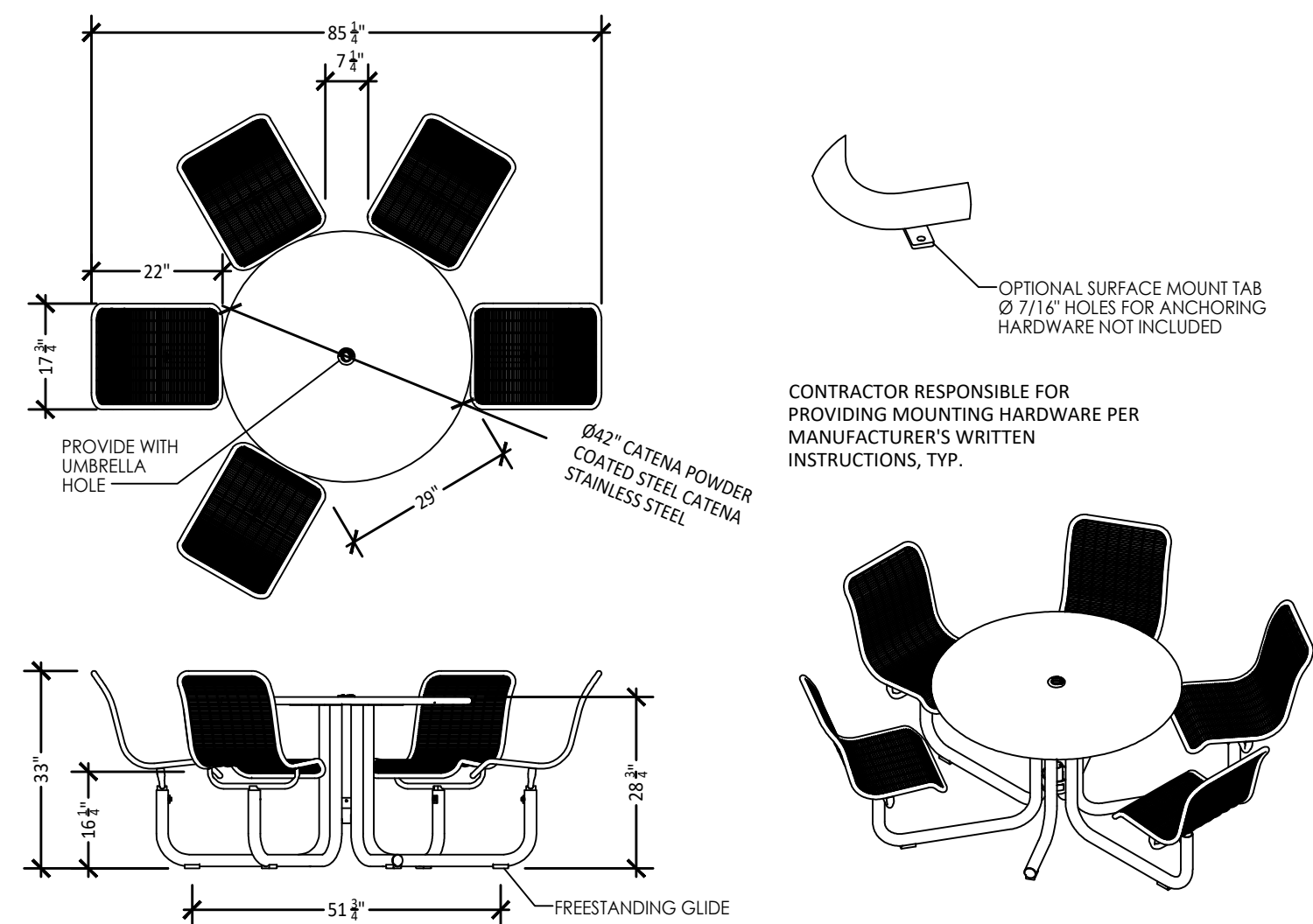
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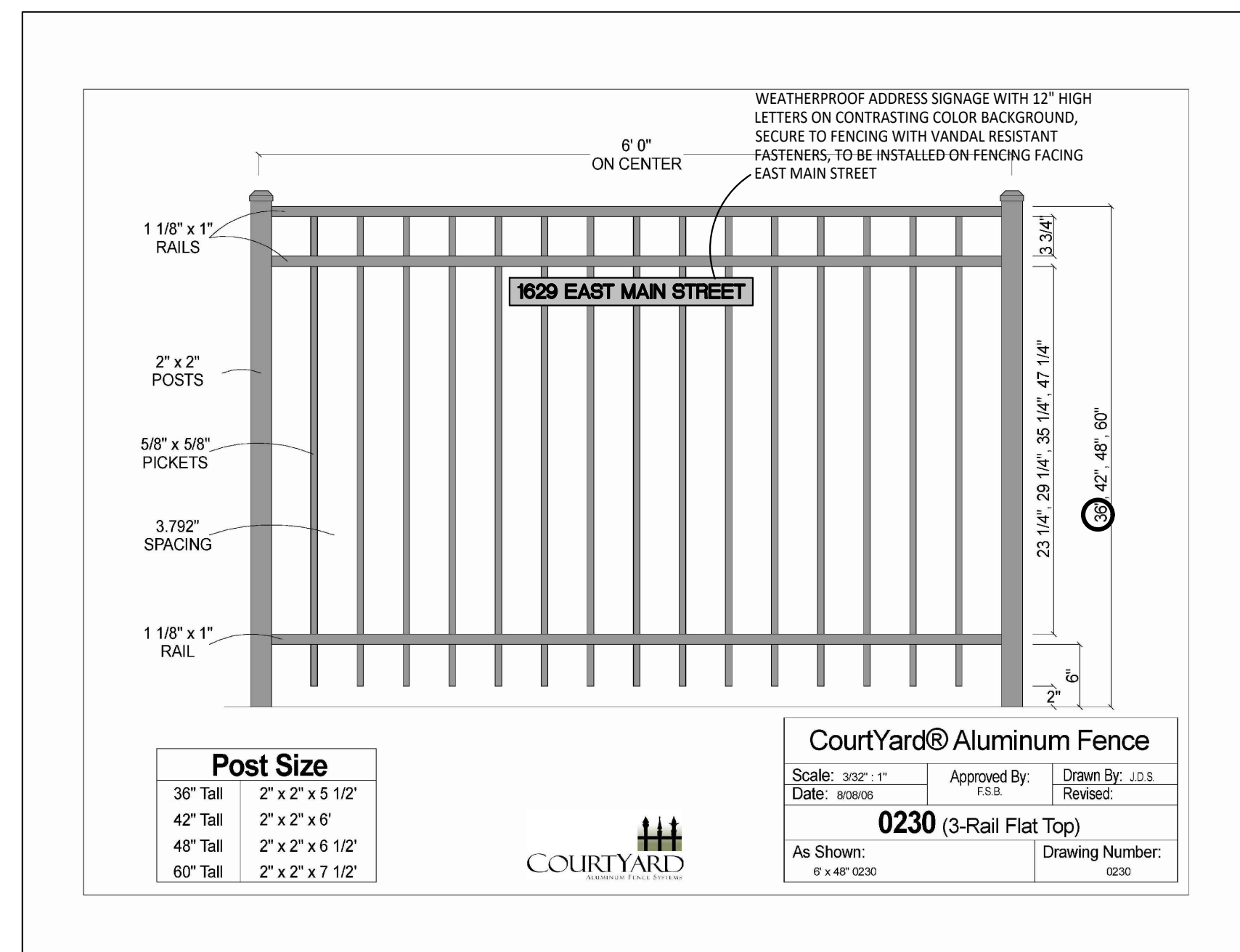
**1 6-Seat Dining Height Table Detail**

Not To Scale



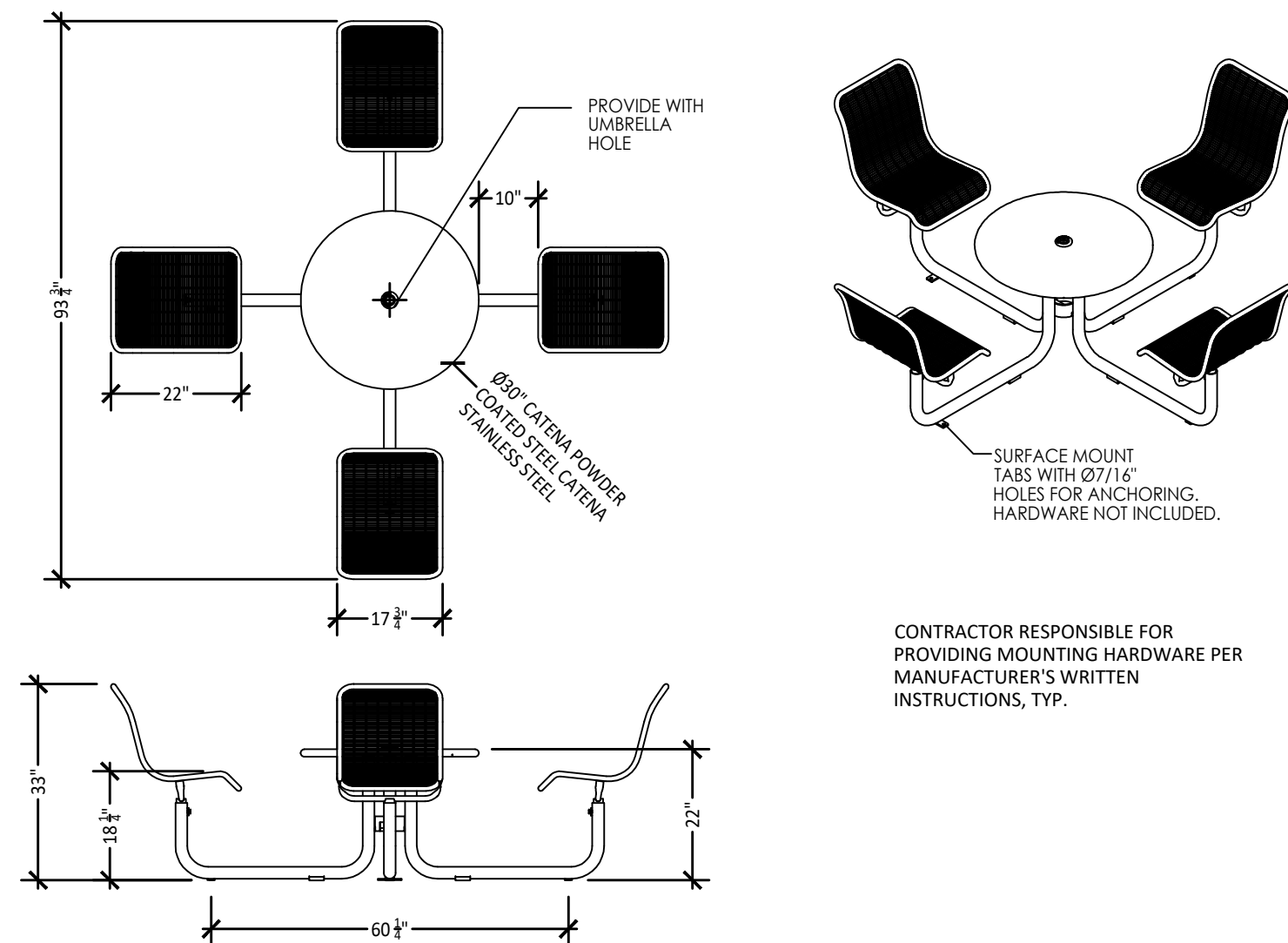
**2 5-Seat ADA Dining Height Table Detail**

Not To Scale



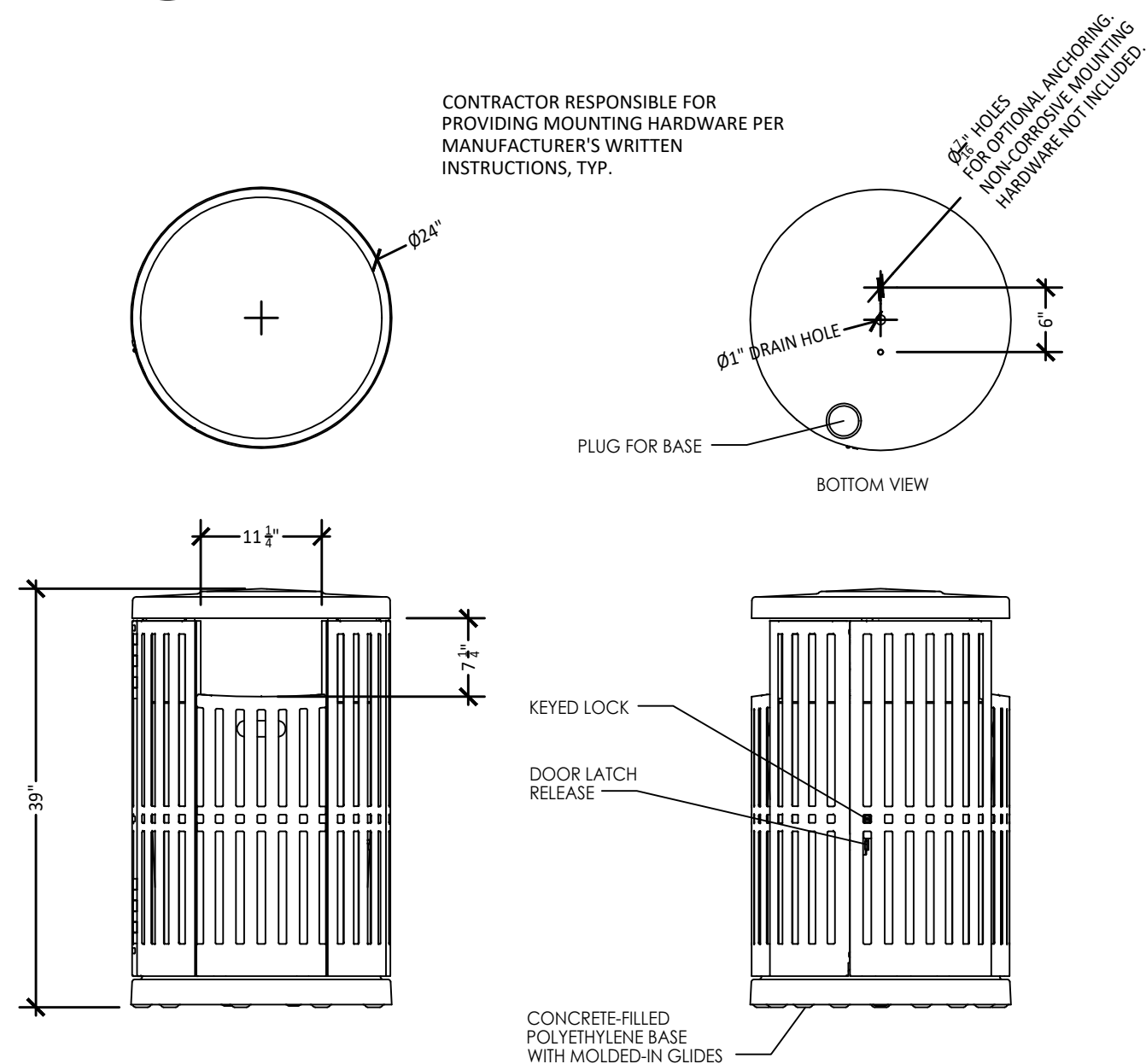
**3 3' High Decorative Metal Fencing Detail**

Not To Scale



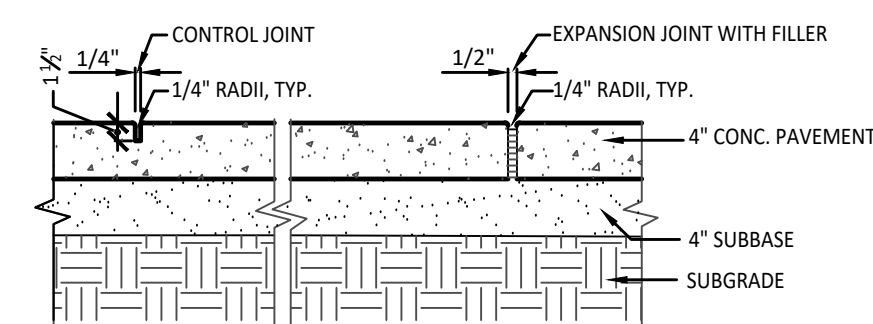
**4 4-Seat Casual Height Table Detail**

Not To Scale



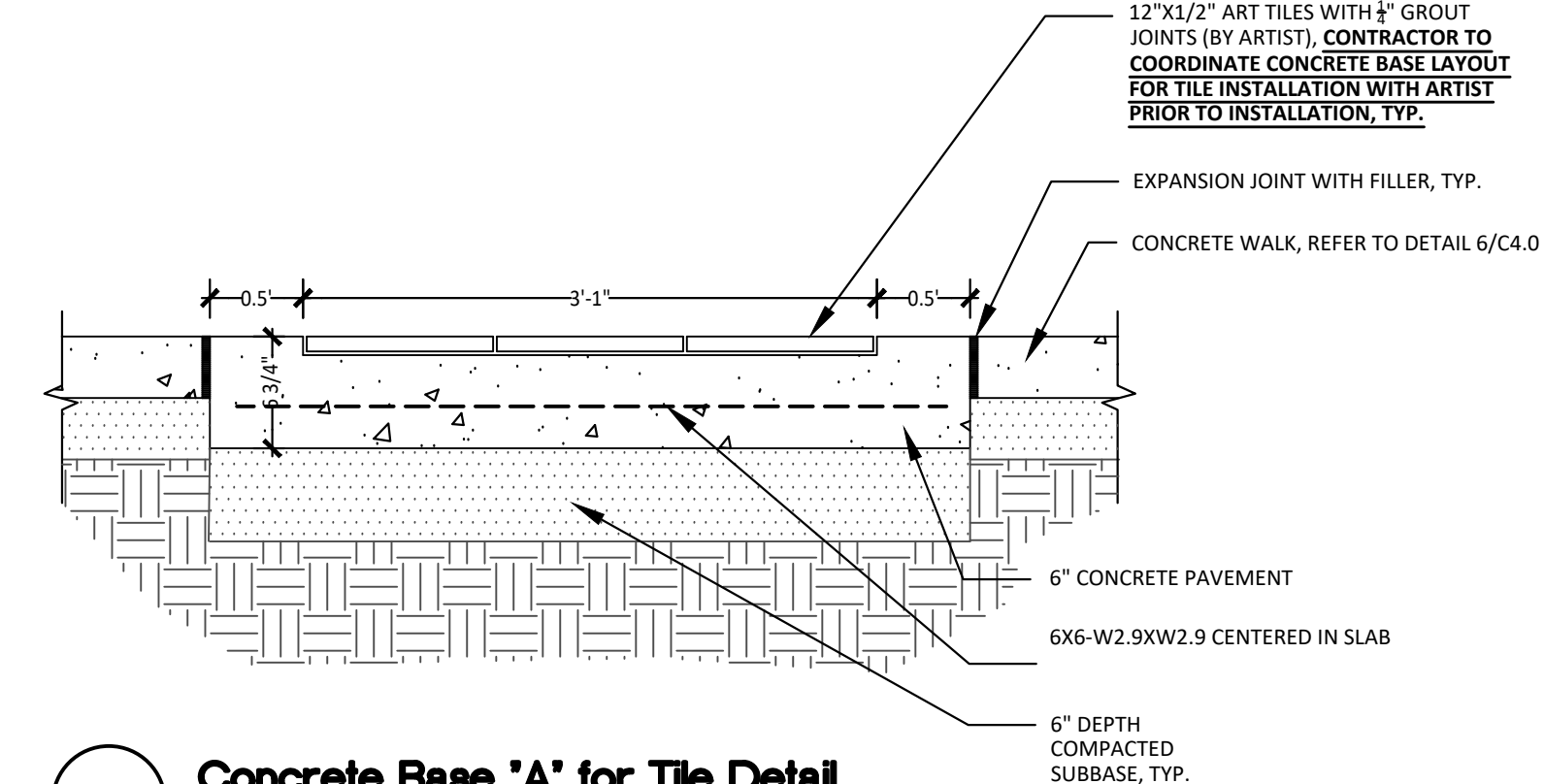
**5 Trash Receptacle Detail**

Not To Scale



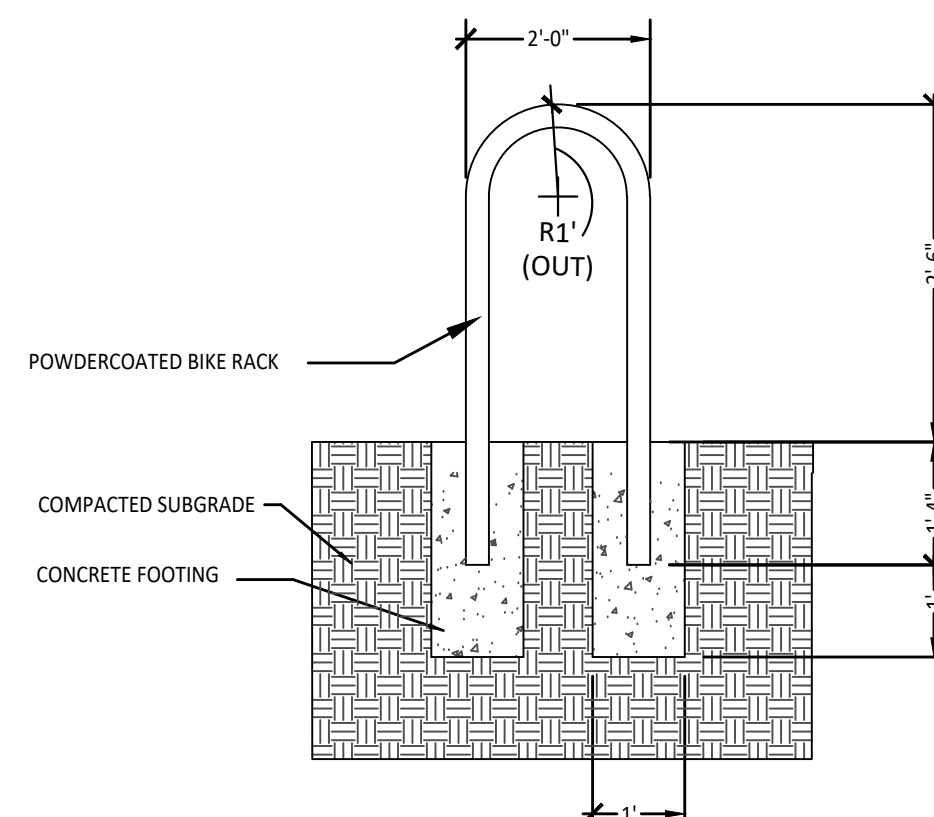
**6 Section-Conc. Paving + Jointing**

Not To Scale



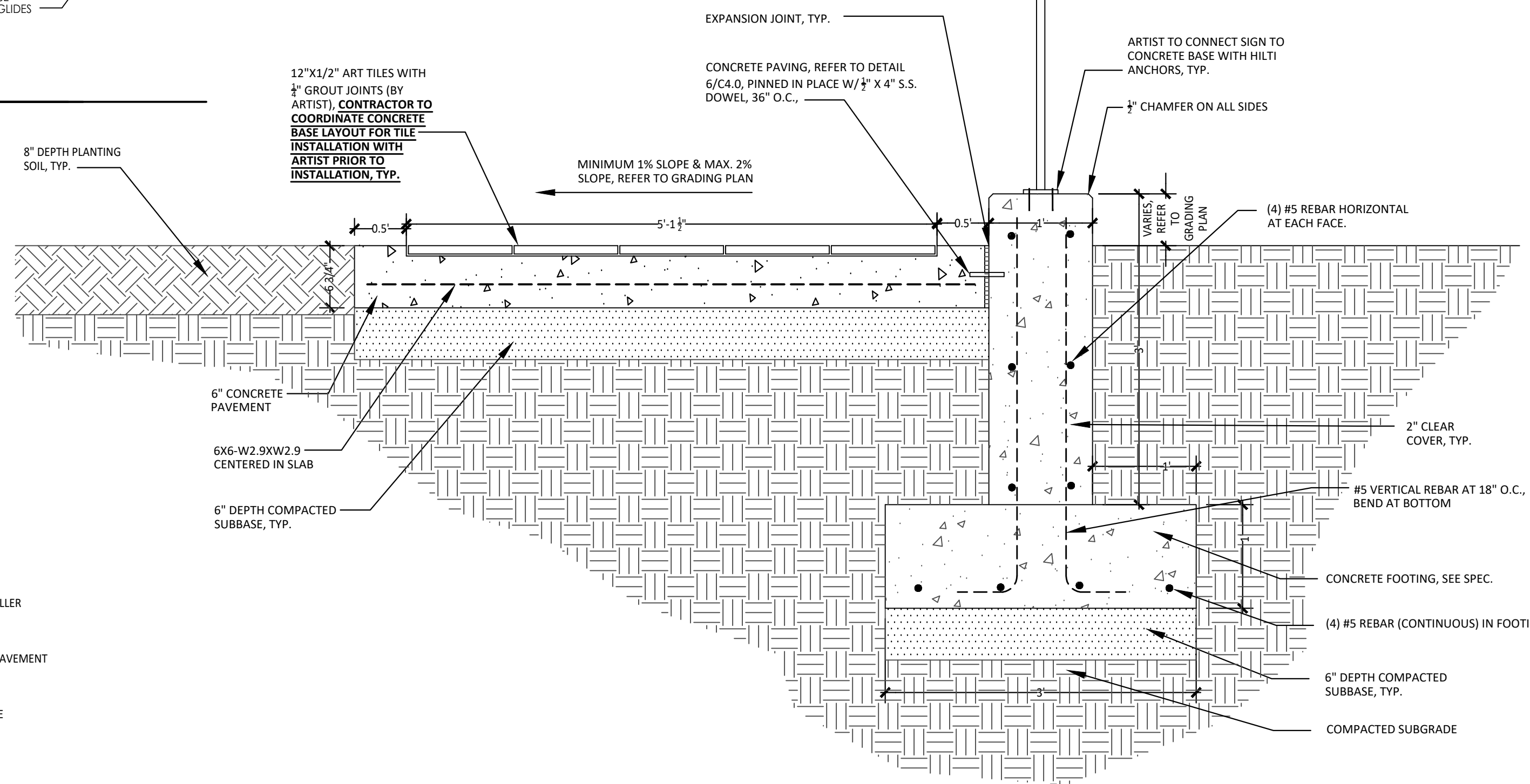
**7 Concrete Base 'A' for Tile Detail**

Not To Scale



**8 Bike Rack Detail**

Not To Scale



**9 Concrete Base 'B' for Tile Details**

Not To Scale

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Kalamazoo, Michigan

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## Details

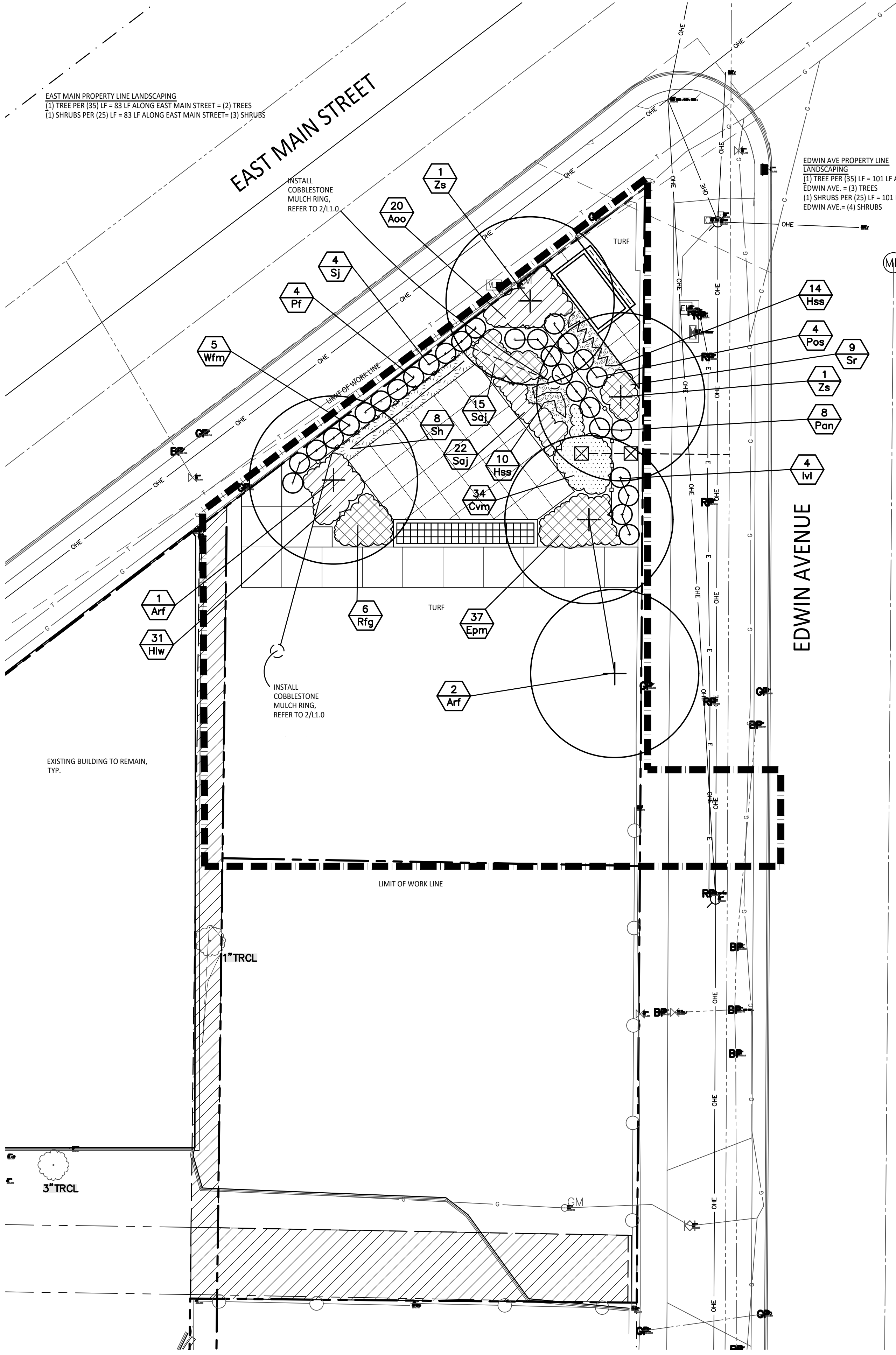
Job No.

Sheet No.

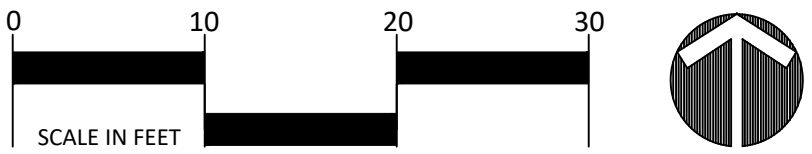
22007

C4.0



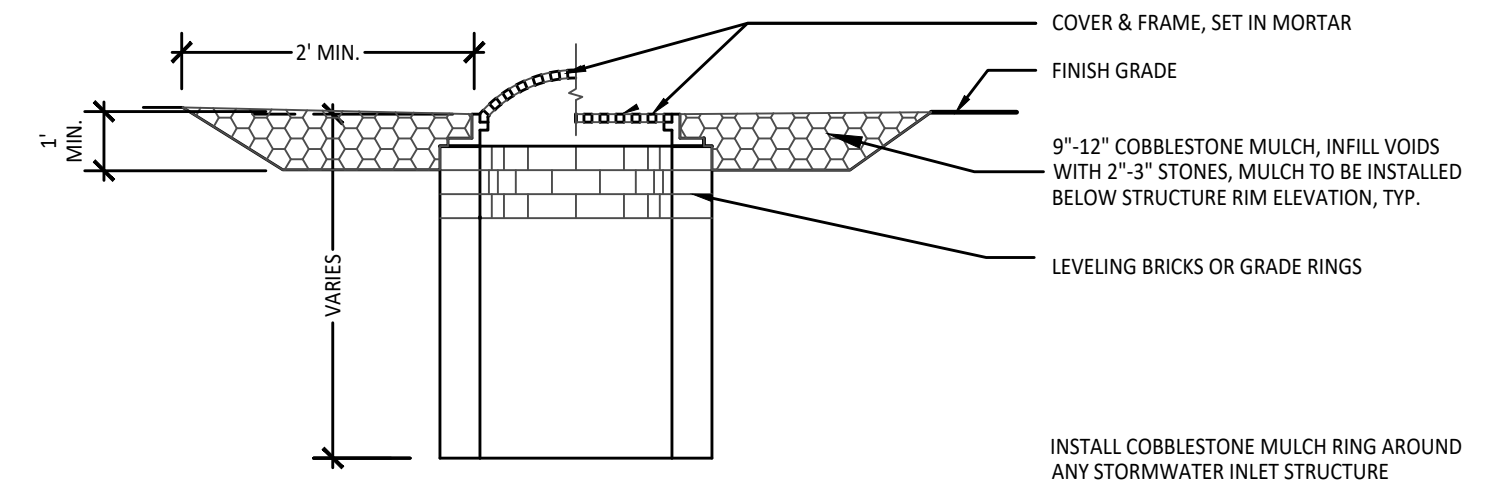


1 Site Landscape Plan  
Scale: 1"=10'-0"

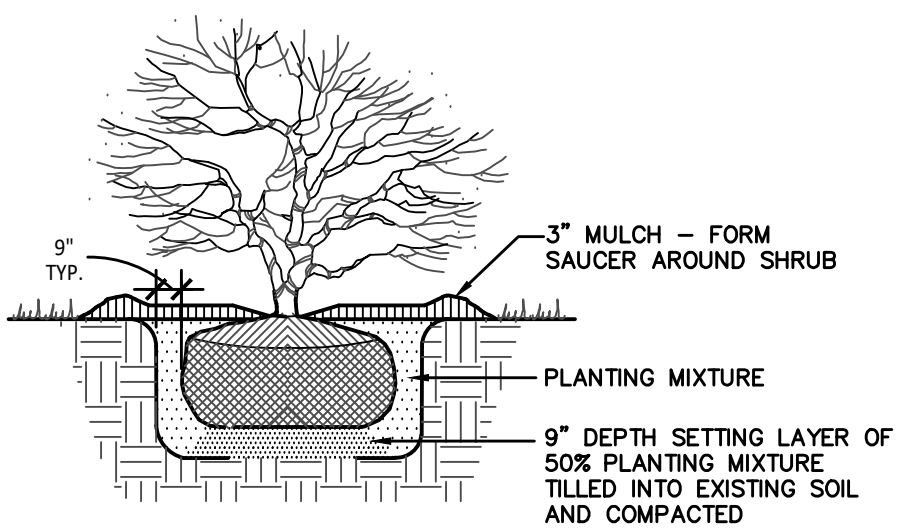


### LANDSCAPE NOTES:

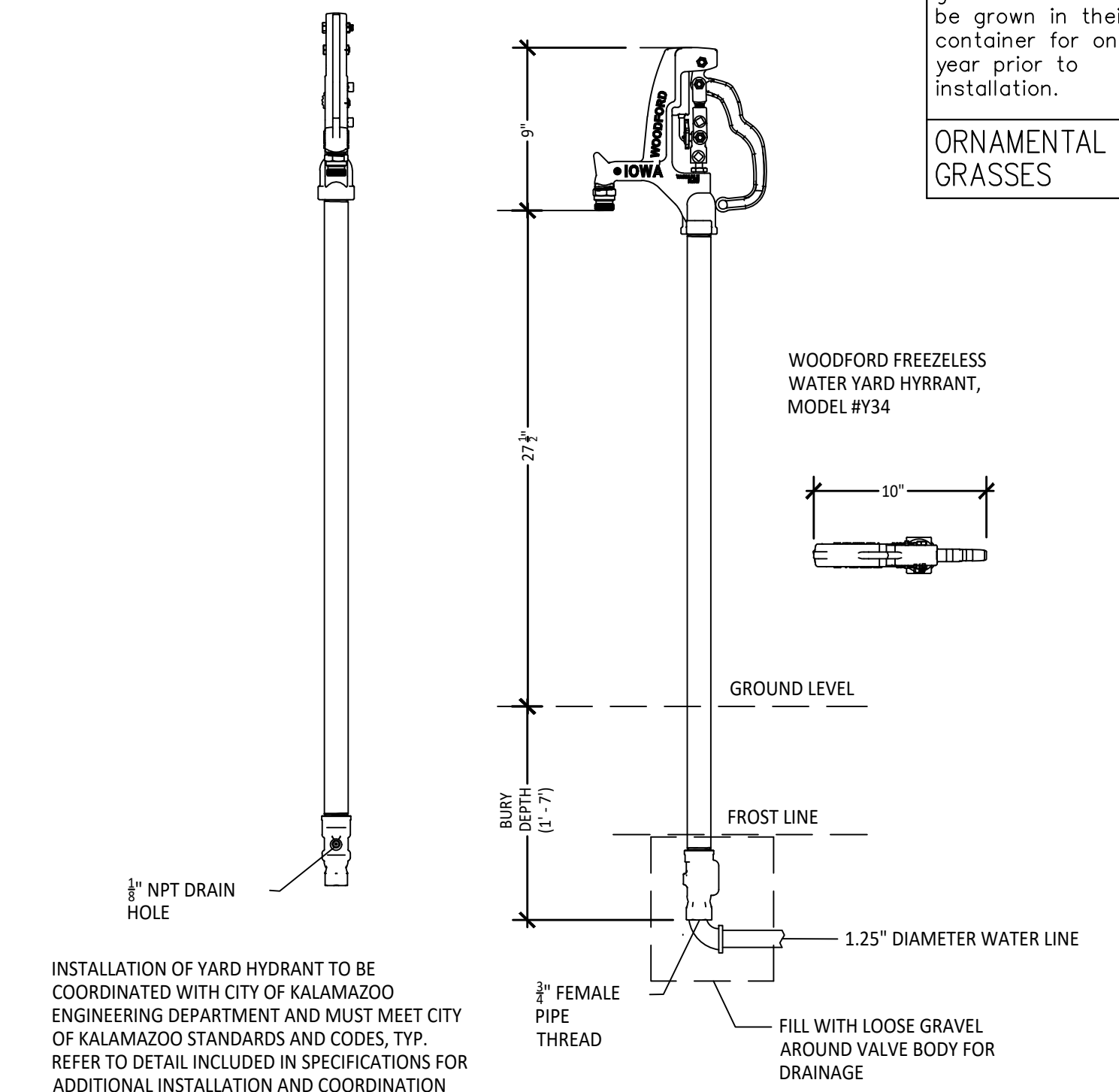
1. SURVEY OF EXISTING CONDITIONS PROVIDED BY WIGHTMAN, 433 EAST RANSOM STREET, KALAMAZOO, MICHIGAN 49007, (269)327-3532
2. CALL "MISS DIG" AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171. ANY UTILITIES DISTURBED BY CONSTRUCTION SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
3. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHOULD BE REPORTED TO THE CONSTRUCTION MANAGER IMMEDIATELY FOR RESOLUTION.
4. IN AREAS OF NEW TURF PLACE 4" MINIMUM TOPSOIL, FINE GRADE & ESTABLISH TURF WITHIN SEED LIMIT LINES.
5. PLACE SHREDDED HARDWOOD MULCH TO A 3" DEPTH IN ALL TREE & SHRUB BEDS & TO A 2" DEPTH IN ALL GROUND COVER BEDS.
6. UNLESS OTHERWISE NOTED, TOPSOIL, FINE GRADE AND SEED ALL DISTURBED AREAS WITHIN THE SEEDING LIMIT SHOWN AND AREAS DISTURBED BY CONSTRUCTION.
7. REPAIR AND RESTORE ANY DAMAGE OUTSIDE OF LIMIT OF WORK LINE TO ORIGINAL CONDITION.
8. PROTECT ALL TREES AND EXISTING FEATURES TO REMAIN AS SPECIFIED.
9. ALL TOPSOIL AND EXCESS FILL MATERIAL SHALL BE STOCKPILED ON SITE SEPARATELY FOR LATER RE-USE. LOCATE STOCKPILES IN AREAS AS DIRECTED BY CONSTRUCTION MANAGER AND PROTECT FROM EFFECTS OF EROSION.
10. ALL NURSERY STOCK SHALL BE TRUE TO TYPE AND NAME. ALL STOCK SHALL BE FIRST CLASS QUALITY WITH WELL DEVELOPED BRANCH SYSTEMS AND VIGOROUS HEALTHY ROOT SYSTEMS. ALL STOCK SHALL BE WELL FORMED AND THE TRUNKS OF TREES SHALL BE UNIFORM AND STRAIGHT.
11. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR IRRIGATION SCHEDULING FOR THE ENTIRE MAINTENANCE PERIOD UNLESS OTHERWISE NOTED.
12. CONTRACTOR RESPONSIBLE TO LOCATE SITE LIGHTING SERVICES. CONTRACTOR RESPONSIBLE TO NOTIFY CONSTRUCTION MANAGER IF DAMAGE TO LIGHTING ELECTRICAL DISTRIBUTION OCCURS.
13. ALL AREAS OF TREE CLEARING SHALL BE STAKED FOR ARCHITECTS APPROVAL PRIOR TO CLEARING.
14. UNLESS OTHERWISE SPECIFIED, ALL PERENNIALS, GRASSES AND GROUNDCOVERS SHALL BE GROWN IN THEIR CONTAINER FOR ONE YEAR PRIOR TO INSTALLATION.



2 Cobblestone Mulch Ring Detail  
Not To Scale



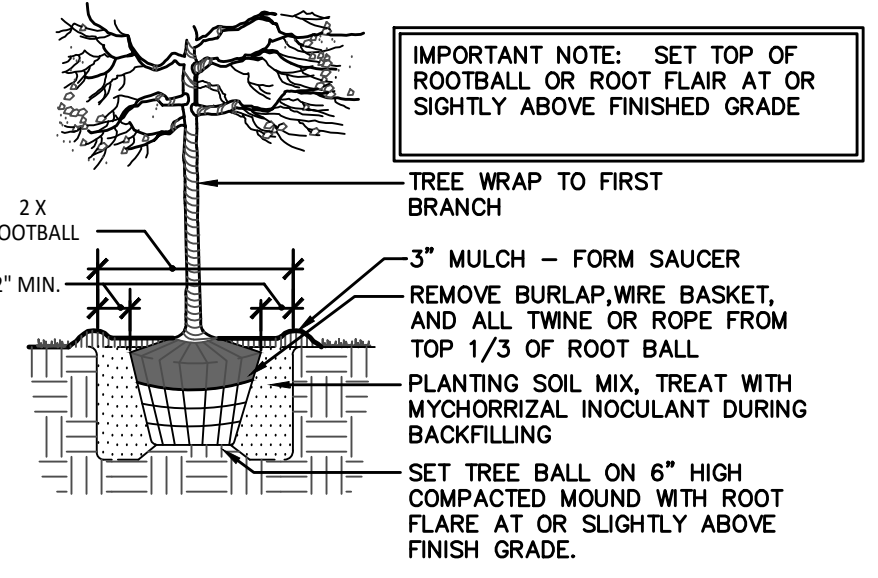
3 Shrub Planting Detail  
Not To Scale



4 Yard Hydrant Detail  
NOT TO SCALE

### PROPOSED FEATURES LEGEND:

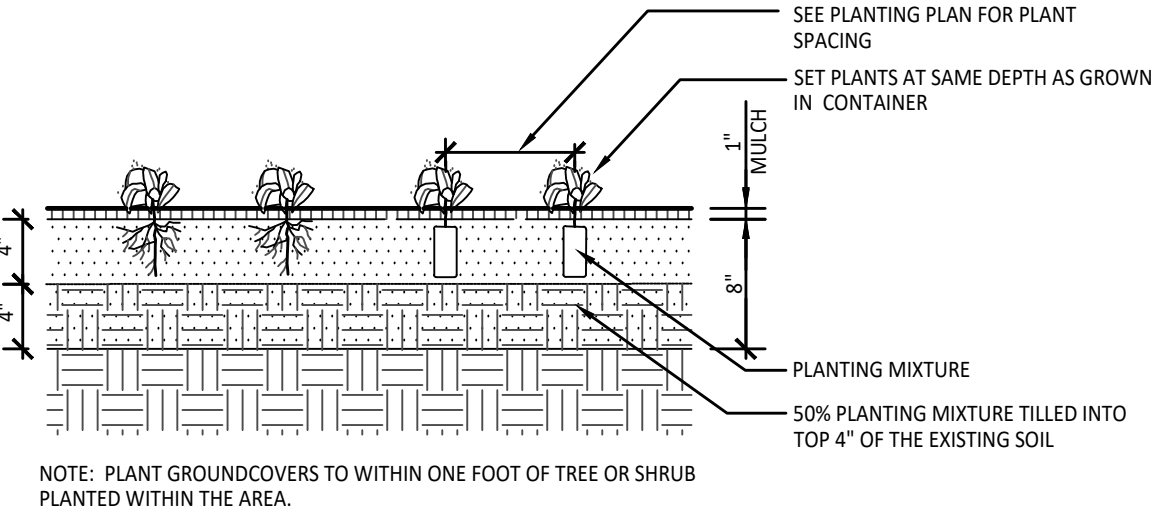
SYMBOL	DESCRIPTION	DETAIL
	DECIDUOUS TREE	5 / L1.0
	SHRUB	3 / L1.0
	GRASSES	6 / L1.0
	GROUNDCOVER AND/OR PERENNIALS	6 / L1.0
	LIMIT OF WORK	
	PROPERTY LINE	
	PLANT TAG- REFERS TO TYPE AND NUMBER OF PLANTINGS TO BE PROVIDED AND MAINTAINED BY CONTRACTOR.	



5 Tree Planting Detail  
Not To Scale

### PLANT LIST:

	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COM.
DECIDUOUS TREES	Arf	Acer rubrum 'Franksred'	Red Sunset Red Maple	2" Cal.	B&B	
	Zs	Zelkova serrata 'Green Vase'	Green Vase Zelkova	3" Cal.	B&B	
SHRUBS	lvi	Itea v. 'Little Henry'	Little Henry Virginia Sweetspire	15" Ht.	Cont.	3' O.C.
	Pos	Physocarpus opulifolius 'Little Devil'	Little Devil Ninebark	18" Ht.	B&B	4' O.C.
	Pan	Picea abies 'Little Gem'	Little Gem Spruce	3 Gal.	Cont.	3' O.C.
	Pf	Potentilla fruticosa 'Goldfinger'	Goldfinger Cinquefoil	3 Gal.	Cont.	3' O.C.
	Rc	Rosa 'Carefree Wonder'	Carefree Wonder Shrub Rose	15" Ht.	B&B	3' O.C.
	Wfm	Weigela florida 'Minuet'	Minuet Weigela	18" Ht.	Cont.	3' O.C.
PERENNIALS, GROUND COVERS	Aoo	Aster oblongifolius 'October Skies'	October Skies Aster	1 Gal.	Cont.	2' O.C.
	Cvm	Coreopsis verticillata 'Moonbeam'	Moonbeam Coreopsis	1 Gal.	Cont.	18" O.C.
	Epm	Echinacea purpurea 'Magnus'	Magnus Purple Coneflower	1 Gal.	Cont.	18" O.C.
	Hlw	Hemmercalis 'Little Wine Cup'	Little Wine Cup Daylily	1 Gal.	Cont.	18" O.C.
	Rfg	Rudbeckia fulgida 'Goldsturm'	Black Eyed Susan	1 Gal.	Cont.	3' O.C.
	Saj	Sedum x 'Autumn Joy'	Autumn Joy Stonecrop	1 Gal.	Cont.	3' O.C.
	Srf	Solidago rugosa 'Fireworks'	Fireworks Goldenrod	1 Gal.	Cont.	2' O.C.
ORNAMENTAL GRASSES	Hss	Helictotrichon sempervirens 'Sapphire'	Sapphire Blue Oat Grass	1 Gal.	Cont.	18" O.C.
	Sh	Sporobolus heterolepis	Prairie Dropseed Grass	1 Gal.	Cont.	3' O.C.



6 Upright Groundcover Planting  
Not To Scale

350 East Michigan Avenue, Suite #415  
Kalamazoo, Michigan 49007  
Phone (269) 381-3357  
Fax (269) 381-2944

Landscape Architecture  
Urban Planning  
Parks & Recreation  
Campus & Institutional Planning  
Camp Planning & Design

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Issued For: \_\_\_\_\_ Date \_\_\_\_\_

SITE PLAN REVIEW 01-08-21

SPR RE-SUBMITTAL 02-03-21

ISSUE FOR BID 02-10-21

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Project: \_\_\_\_\_

Eastside Square  
Sunrise Plaza  
Improvements

Kalamazoo, Michigan

Sheet Title \_\_\_\_\_

Landscape Plan

Job No. \_\_\_\_\_ Sheet No. \_\_\_\_\_

22007 L1.0