

New Construction:

# Eastside Gateway Project - 2 Bedrooms

East Michigan Ave. Between Forseman Ave. & Phelps Ave.

Kalamazoo, MI 49048

## Kalamazoo County Land Bank Authority

1523 RIVERVIEW DRIVE

KALAMAZOO, MI 49004

### project team

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401 e. michigan ave., suite 100  
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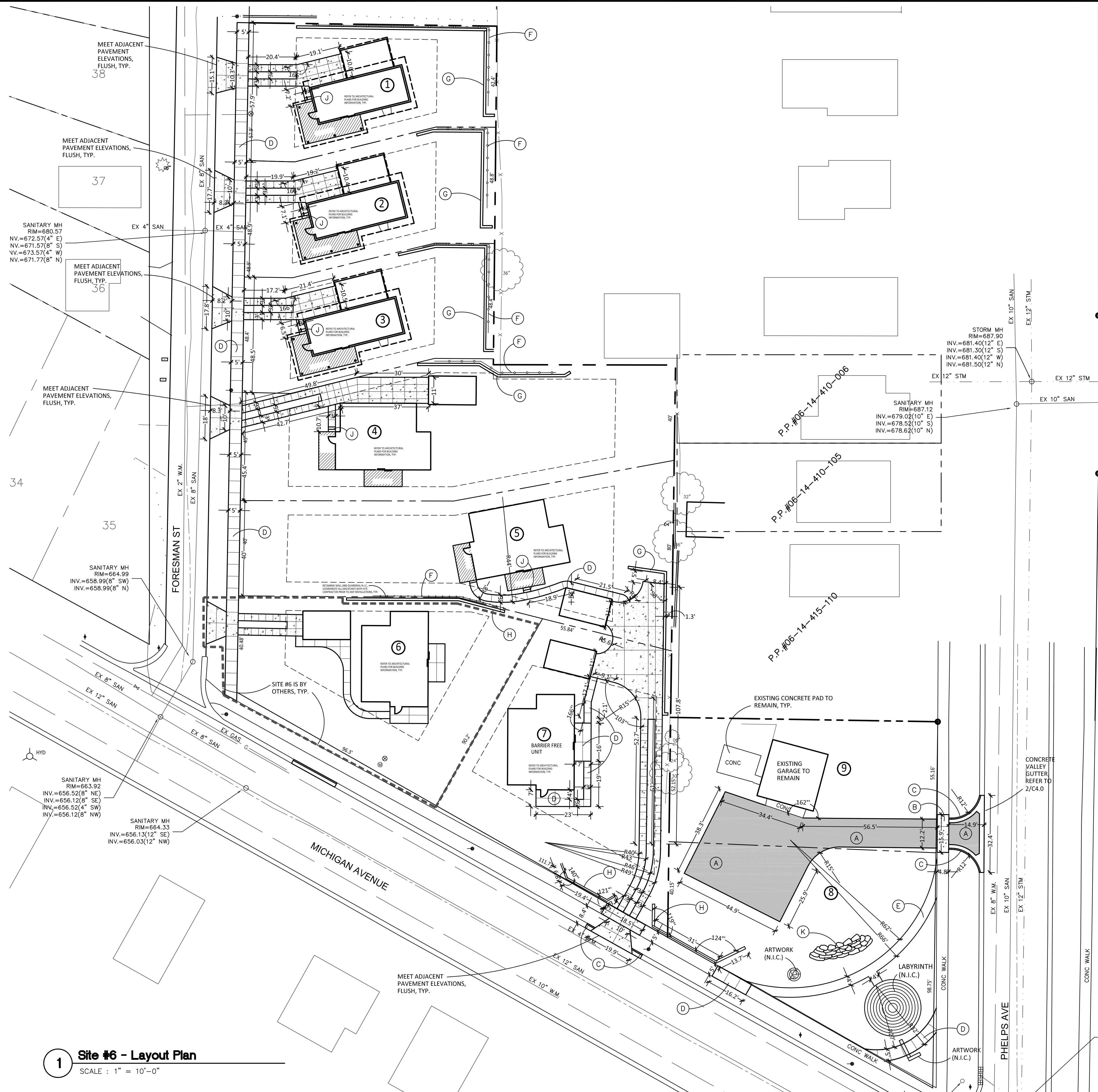
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project name  
EASTSIDE GATEWAY  
PROJECT - 2 BEDROOMS

project number  
**18016**

issue date  
FOR PRICING  
7.3.18

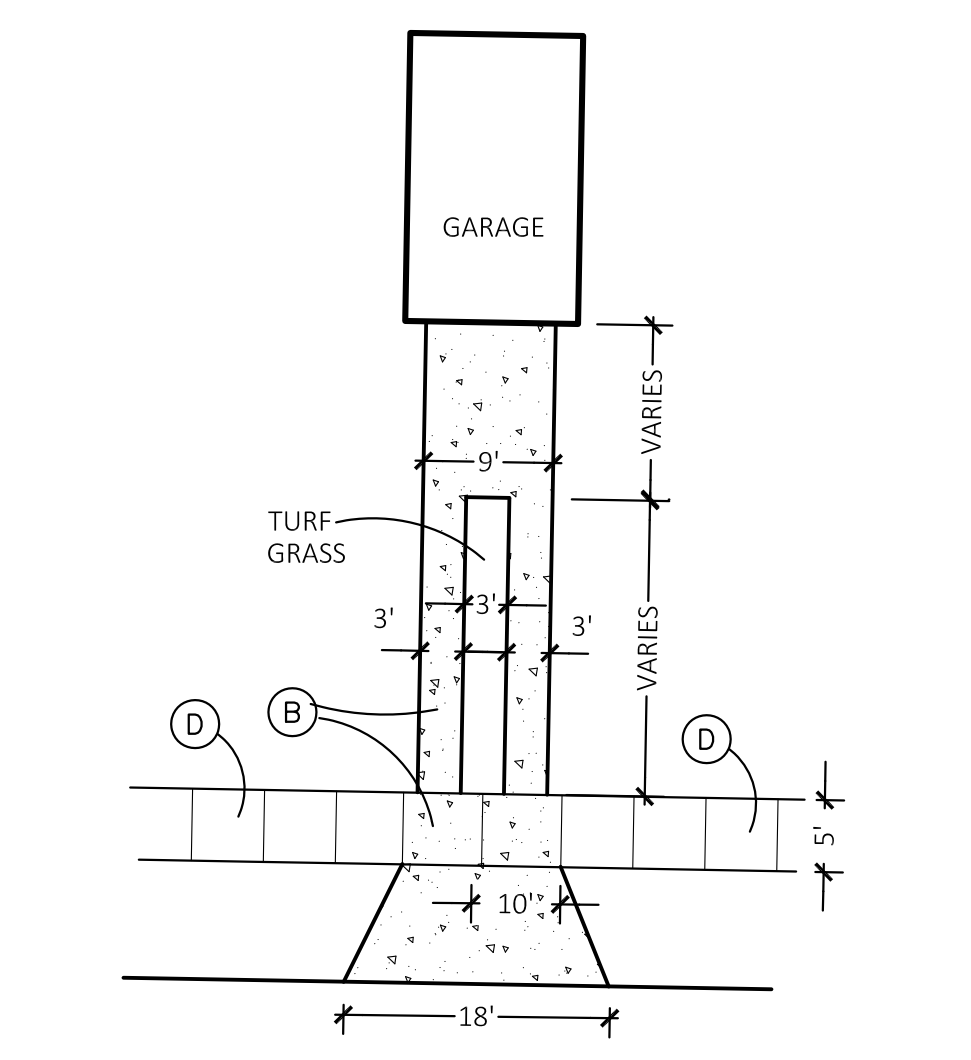


**LAYOUT NOTES:**

1. SURVEY OF EXISTING CONDITIONS PROVIDED BY FLEIS AND VANDENBRINK, 4798 CAMPUS DRIVE, KALAMAZOO MI 49008 PH: 269-385-0011
2. PAVEMENT DIMENSIONS AND RADII ARE TO EDGE OF PAVEMENT OR BACK OF CURB.
3. DISCREPANCIES BETWEEN SITE AND PLANS SHOULD BE REPORTED TO THE PROJECT MANAGER IMMEDIATELY.
4. VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171.
5. SITE LAYOUT POINTS SHOULD BE ESTABLISHED AND PROTECTED FOR FUTURE SITE WORK.
6. FINAL PROPOSED LOT DIMENSIONS ARE PENDING PER LOT LAYOUT APPROVAL BY THE CITY OF KALAMAZOO AND FINAL LEGAL DESCRIPTIONS.
7. PROJECT SITE IS LOCATED IN THE 10 YEAR WELL HEAD CAPTURE ZONE.
8. WATER SERVICE TO EACH UNIT TO BE 3/4" DIA WITH 3/4" METER.
9. SANITARY LEAD TO BE 4" DIA SDR35 WITH CLEAN OUT.

**PROPOSED FEATURES LEGEND:**

SYMBOL	DESCRIPTION	DETAIL
(A)	BITUMINOUS PAVING	4 / C4.0
(B)	6" REINF. CONCRETE PAVING	8 / C4.0
(C)	CONCRETE CURB AND GUTTER	1 & 5 / C4.0
(D)	4" CONCRETE PAVING	3 / C4.0
(E)	STONE DUST PATH	9 / C4.0
(F)	N.I.C.	
(G)	N.I.C.	
(H)	TIMBER RETAINING WALL	10 / C4.0
(J)	CONCRETE STEPS	12 / C4.0
(K)	LIMESTONE WALL	11 / C4.0
---	PROPERTY LINE	
---	ROW LINE	
---	BUILDING SETBACK LINE	
---	NOT IN CONTRACT (N.I.C.)	



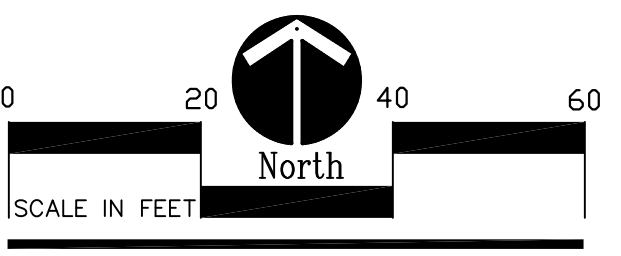
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Issued For:	Date
FINAL SITE PLAN REVIEW	6-6-18
ISSUED FOR BID - GRADING	6-8-18
ISSUED FOR BID - SITE #6 PCK.	07/02/18
ISSUED FOR BID - SITES #1,2,3,4,5,7,8, & 9	07-03-18

Project:  
**Kalamazoo East Side Gateway Project**

**Kalamazoo, MI**

Sheet Title  
**Layout Plan**



521 South Riverview Drive  
 Kalamazoo, Michigan 49004  
 Phone (269) 381-3357  
 Fax (269) 381-2944

Landscape Architecture  
 Urban Planning  
 Parks & Recreation  
 Campus & Institutional Planning  
 Camp Planning & Design

**1 Site #6 - Layout Plan**  
 SCALE : 1" = 10'-0"



FOR REFERENCE ONLY

EXCAVATION CONTRACTOR TO GRADE SITE TO FINISH GRADES AS SHOWN, INSTALL ALL SEC MEASURES, TOPSOIL, SEED AND RESTORE PER CONSTRUCTION DOCUMENTS. EXCAVATION CONTRACTOR TO ALSO INSTALL ALL RETAINING WALLS AND FENCING AS PART OF THIS CONTRACT. BUILDINGS, PAVEMENTS AND OTHER SITE AMENITIES BY OTHERS.

**GRADING NOTES:**

1. SURVEY OF EXISTING CONDITIONS PROVIDED BY FLEIS AND VANDENBRINK, 4798 CAMPUS DRIVE, KALAMAZOO MI 49008 PH: 269-385-0011
2. VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171.
3. ALL NEW PAVEMENTS AND TURF AREAS ARE INTENDED TO DRAIN FREELY WITH NO PONDING. IF THIS CANNOT BE ACHIEVED USING THE PROPOSED GRADES, NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR RESOLUTION.
4. ALL NEW PAVEMENT OR DECK ELEVATIONS AT EXTERIOR DOORS SHALL MATCH EXISTING FINISH FLOOR ELEVATIONS, TYPICAL.
5. BARRIER FREE UNIT LOT #7: SLOPE OF WALKWAYS TO UNIT NOT TO EXCEED 5% LONGITUDINAL SLOPE, 2% CROSS SLOPE.
6. ADJUST TOP OF EXISTING MANHOLES, CATCH BASINS, VAULT COVERS, ETC. TO NEW FINISH GRADE AS REQUIRED.

**PROPOSED FEATURES LEGEND:**

- EXISTING CONTOURS
- EXISTING SPOT ELEVATIONS TO REMAIN
- PROPOSED CONTOURS
- PROPOSED SPOT ELEVATIONS
- DIRECTION AND PERCENTAGE OF SLOPE
- FINISH FLOOR ELEVATION
- TOP OF CURB ELEVATION
- BOTTOM OF CURB ELEVATION
- HIGH POINT
- TOP OF WALL
- BOTTOM OF WALL
- WALL GUARDRAIL (4' HIGH VINYL COATED CHAIN LINK FENCE)
- PROPERTY LINE
- ROW LINE
- SILT FENCE, REFER TO SPECS AND DETAIL 7/C4.0
- COIR LOGS - BioD ROLL 30L, 12" DIA BY GEIWORKS OR EQUAL.

**EROSION CONTROL REQUIREMENTS:**

1. ALL CONSTRUCTION SHALL COMPLY WITH THE SOIL EROSION AND SEDIMENTATION CONTROL ACT (P.A. 347 OF 1972, AS AMENDED) AS ADMINISTERED BY THE CITY OF KALAMAZOO. THE FOLLOWING EROSION CONTROL DEVICES ARE REFERENCED IN THE STANDARD EROSION CONTROL HANDBOOK PUBLISHED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION. (MDOT DRAWING R-96-C, 8-9-2001)
2. ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE REMOVED AT THE END OF CONSTRUCTION. TEMPORARY EROSION CONTROL DEVICES SHOULD BE IN PLACE PRIOR TO EXCAVATION, TO THE EXTENT POSSIBLE.
3. INLET FILTER DROP PROTECTION SHALL BE CLEANED AFTER EACH RAINFALL EVENT.
4. SEED AND MULCH ALL DISTURBED AREAS. SEE SHEET L1.0 FOR SEED MIX AND PLANTING BEDS.
5. ALL SEEDED AND DISTURBED AREAS TO HAVE EROSION BLANKET INSTALLED. REFER TO SPECS FOR EROSION CONTROL BLANKET INFORMATION.

KEY	DESCRIPTION	TEMPORARY / PERMANENT
3	PERMANENT SEEDING	P
26	GEOTEXTILE SILT FENCE	T
39A	INLET PROTECTION FABRIC DROP	T
48	EROSION BLANKET	T
55	FILTER BAG (COIR LOG)	T

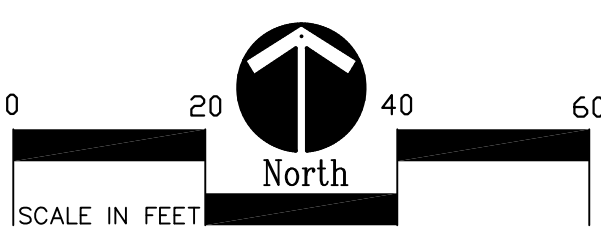
**GENERAL EARTHWORK NOTE:**  
CUTS AND FILLS AT THIS SITE MAY OR MAY NOT BALANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE REQUIRED EARTHWORK VOLUMES BASED ON THE GRADING PLAN SHOWN. IF FILL IS REQUIRED, THE CONTRACTOR SHALL INCLUDE THE REQUIRED VOLUME OF IMPORTED CLASS II SAND IN THE BASE BID PROPOSAL. IF EXCESS SOILS NEED TO BE SPOILED, THE CONTRACTOR SHALL INCLUDE HAULING AND SPOILING SOILS OFF SITE IN THE BASE BID PROPOSAL. NO CONTRACT COST ADJUSTMENTS WILL BE CONSIDERED FOR EARTHWORK REQUIRED TO BALANCE THE SITE.

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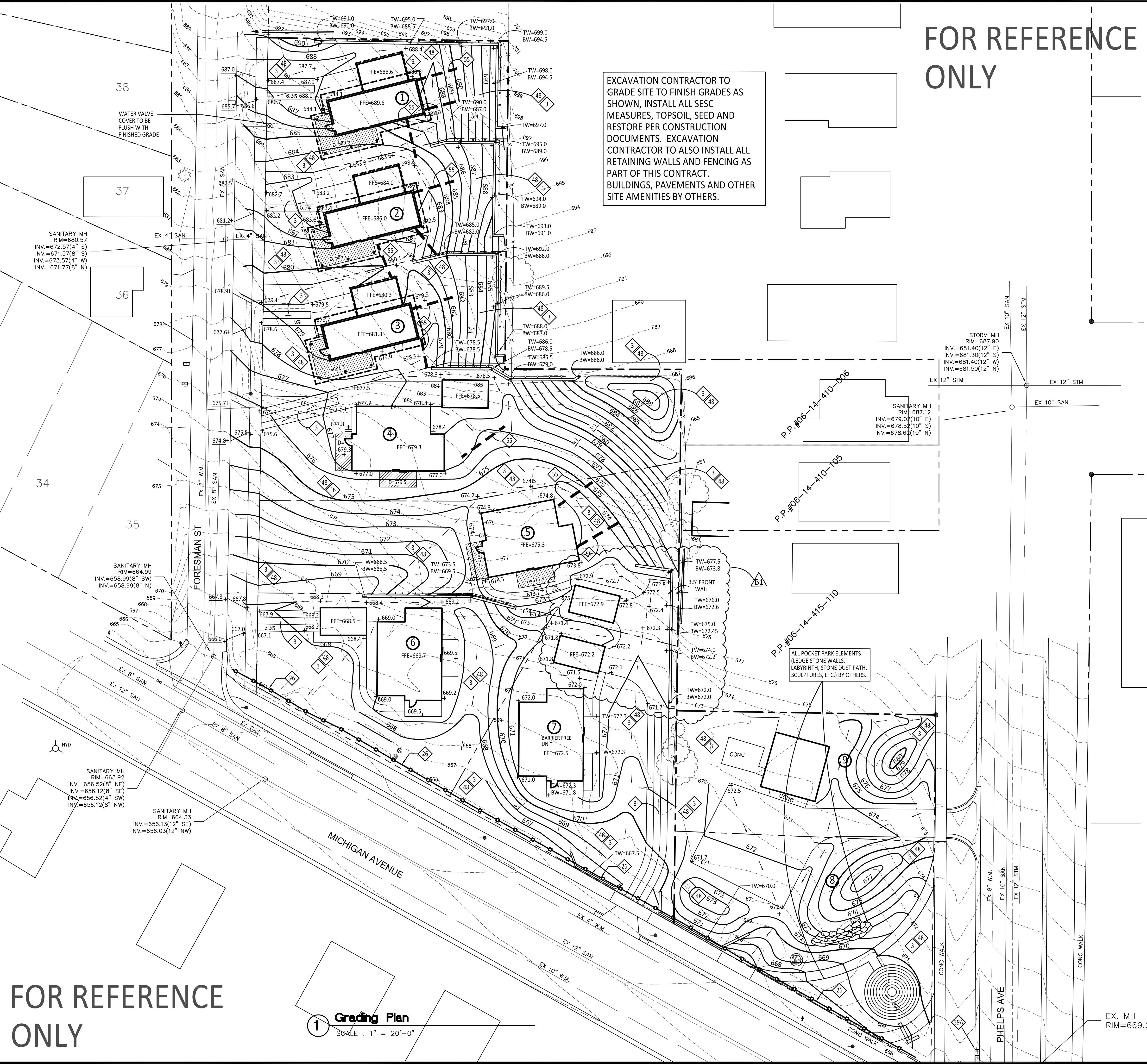
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BULLETIN No. 1 07-06-18

Project: \_\_\_\_\_  
**Kalamazoo East Side Gateway Project**

**Kalamazoo, MI**  
Sheet Title  
**Grading and SESC Plan**



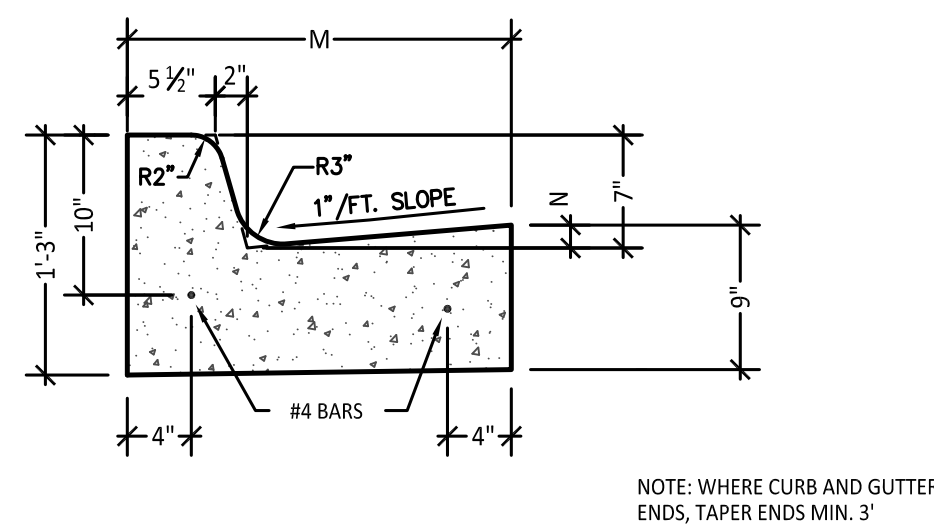
Job No. \_\_\_\_\_ Sheet No. \_\_\_\_\_  
**41708 C3.0A**



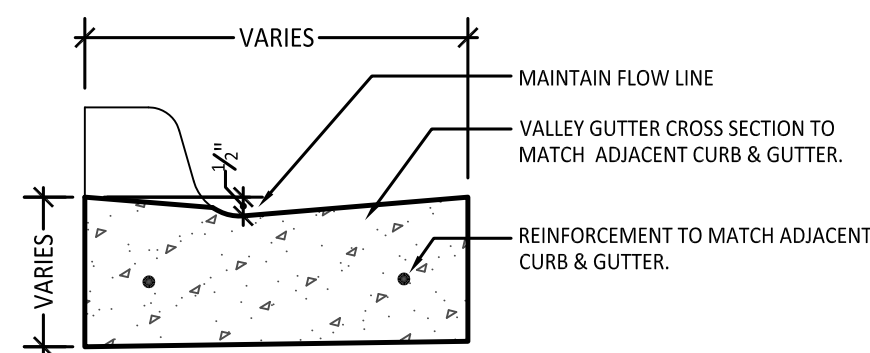
FOR REFERENCE ONLY

**1 Grading Plan**  
SCALE: 1" = 20'-0"

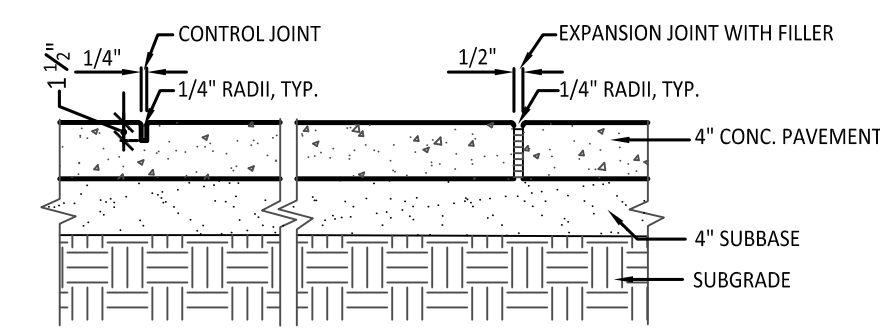
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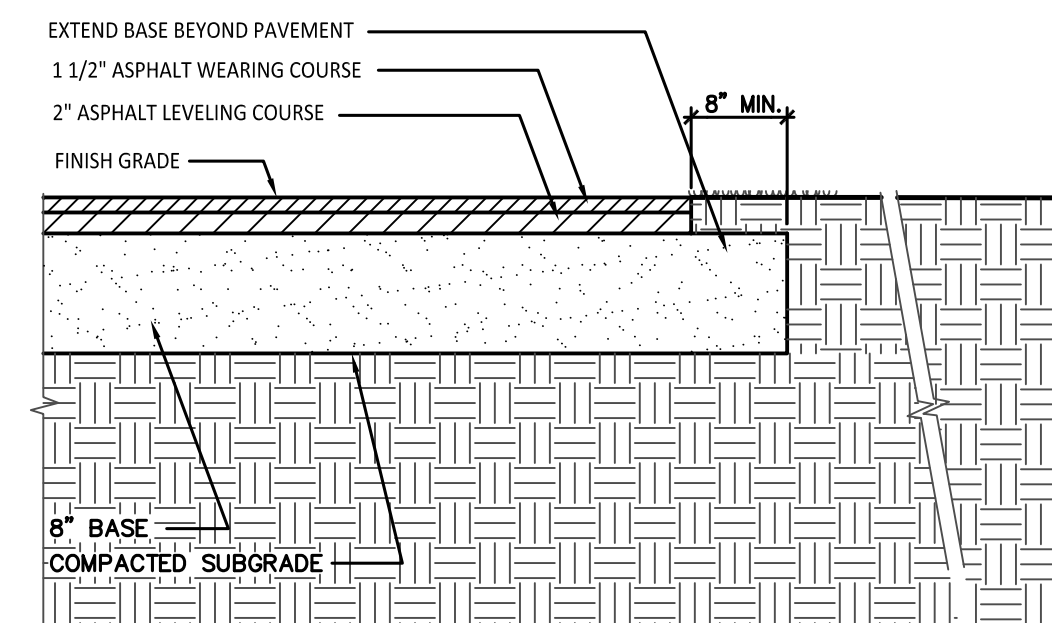
**1 MDOT Type C Curb + Gutter**  
Not to Scale



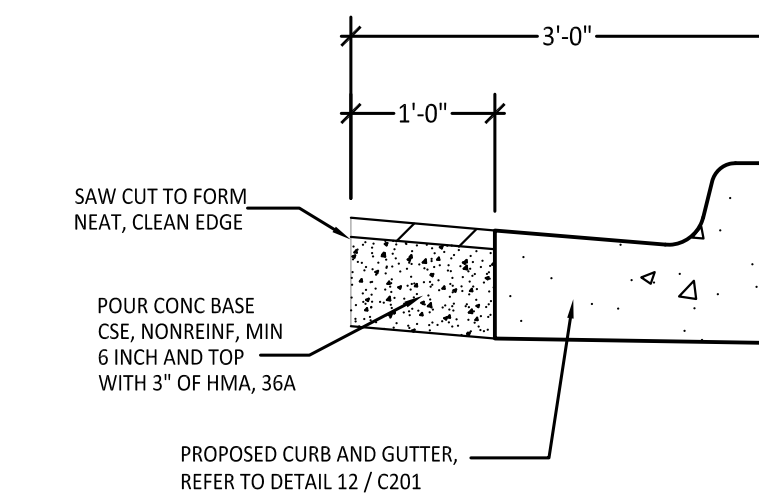
**2 Section-Valley Gutter**  
Not to Scale



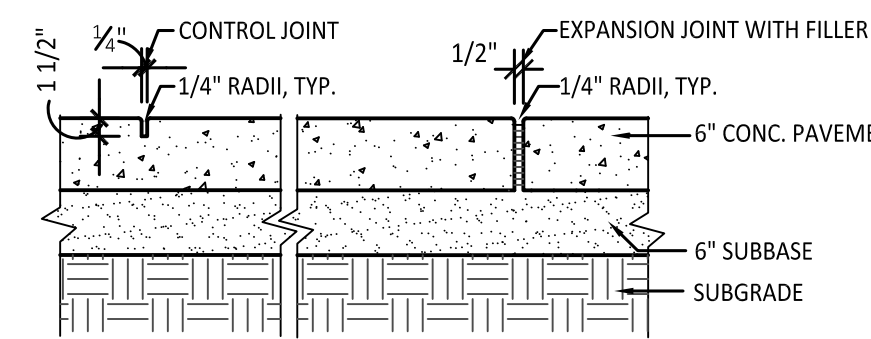
**3 Section-Conc. Paving + Jointing**  
Not to Scale



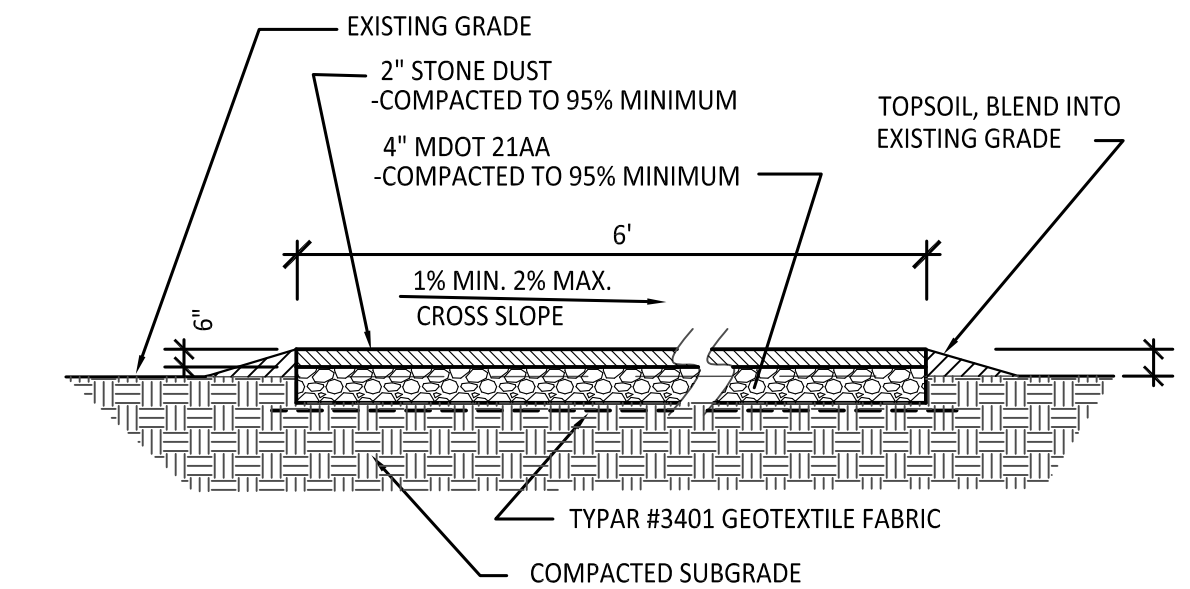
**4 Section-Asphalt Pavement Moderate Duty**  
NOT TO SCALE



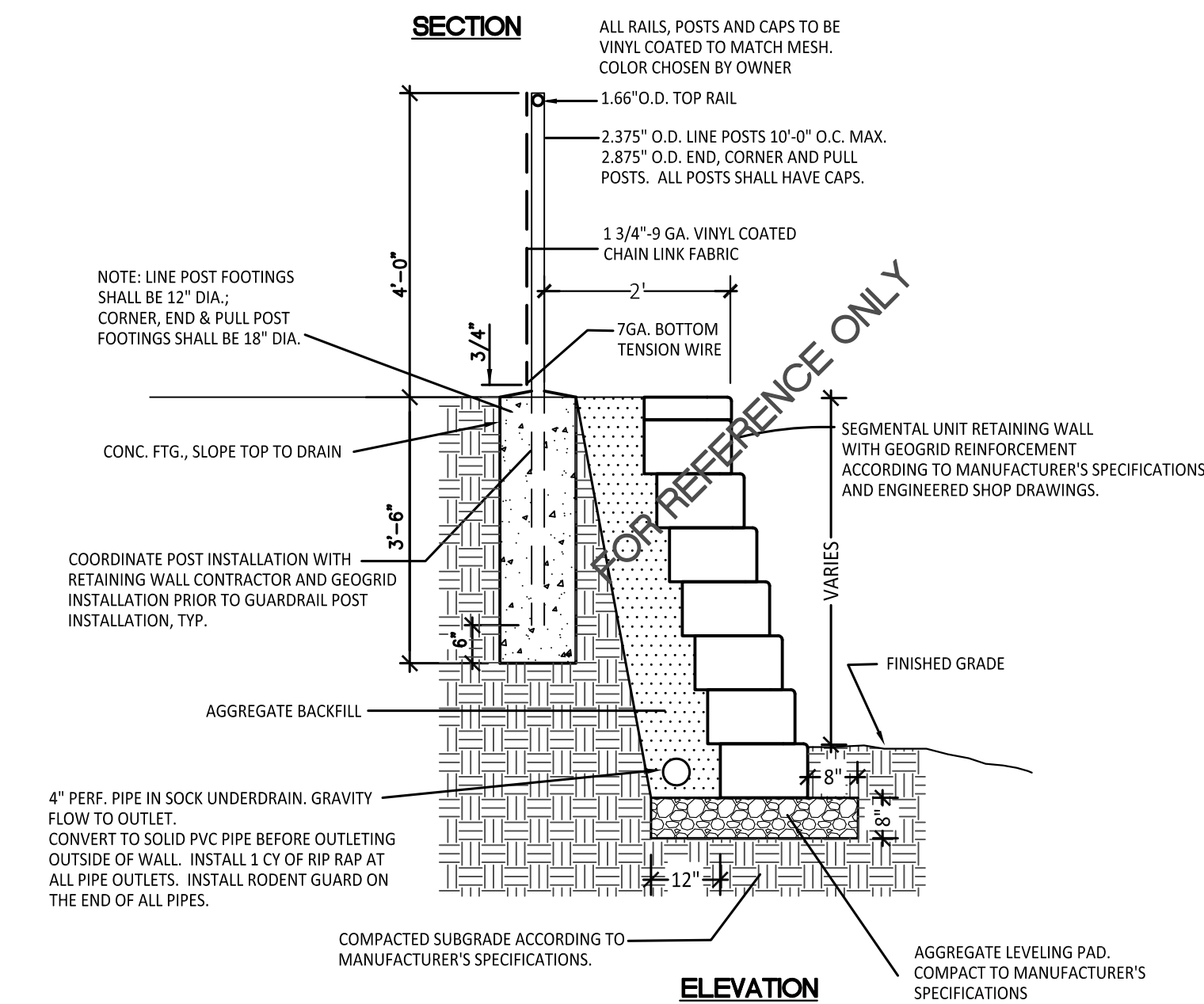
**5 City of Kalamazoo Curb and Gutter Replacement Detail**  
Not to Scale



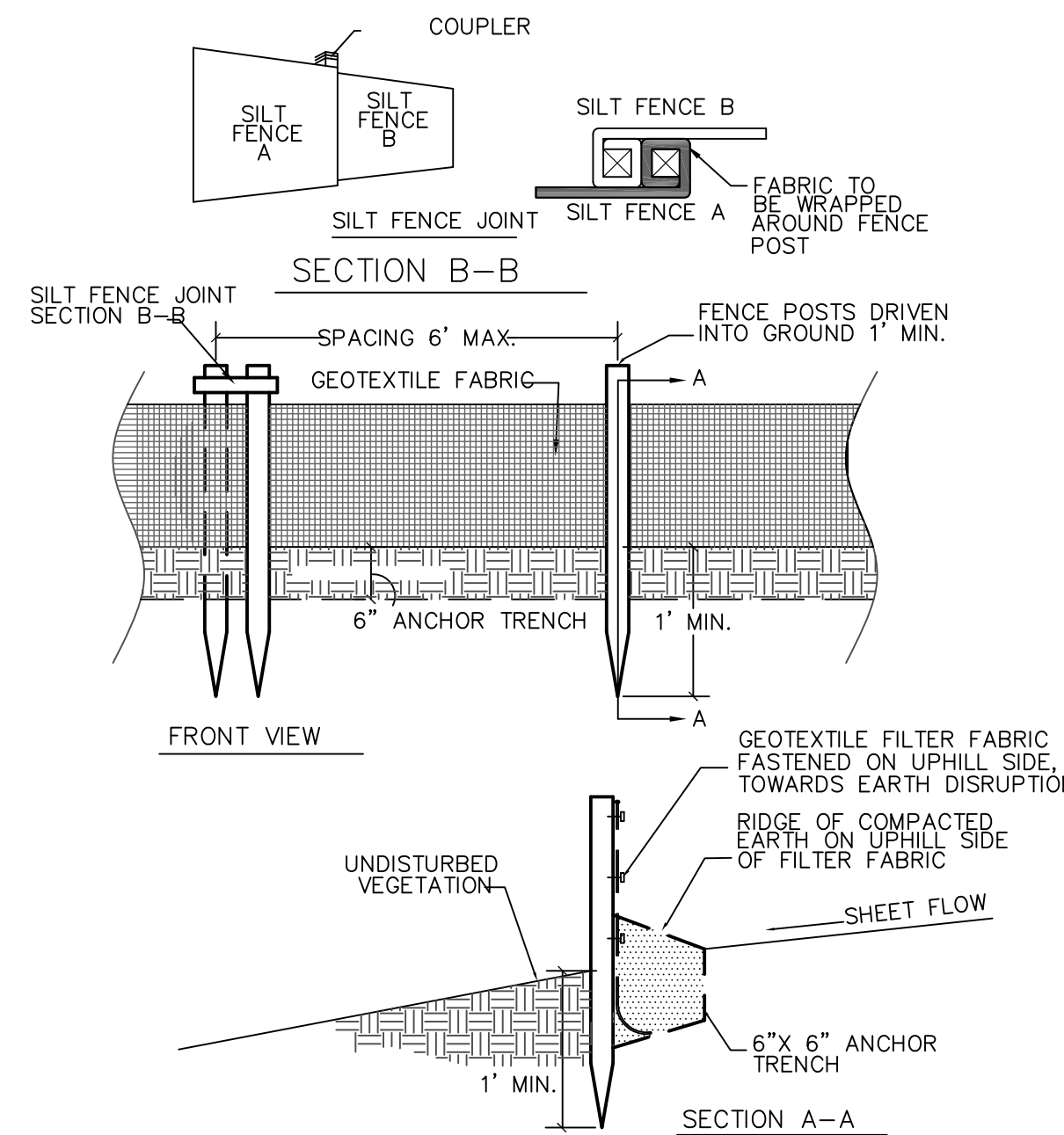
**8 6\"/>**



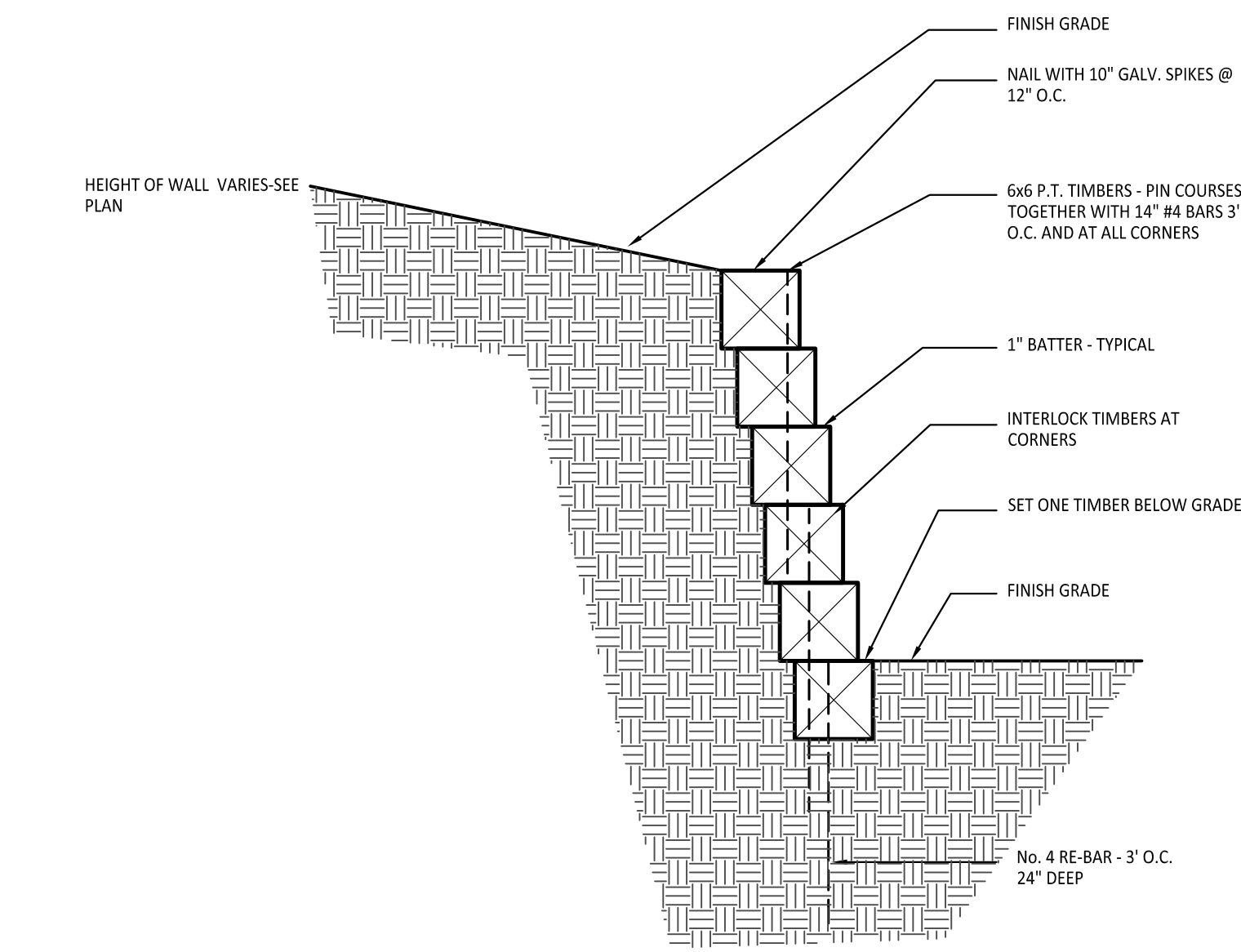
**9 Stone Dust Path**  
NOT TO SCALE



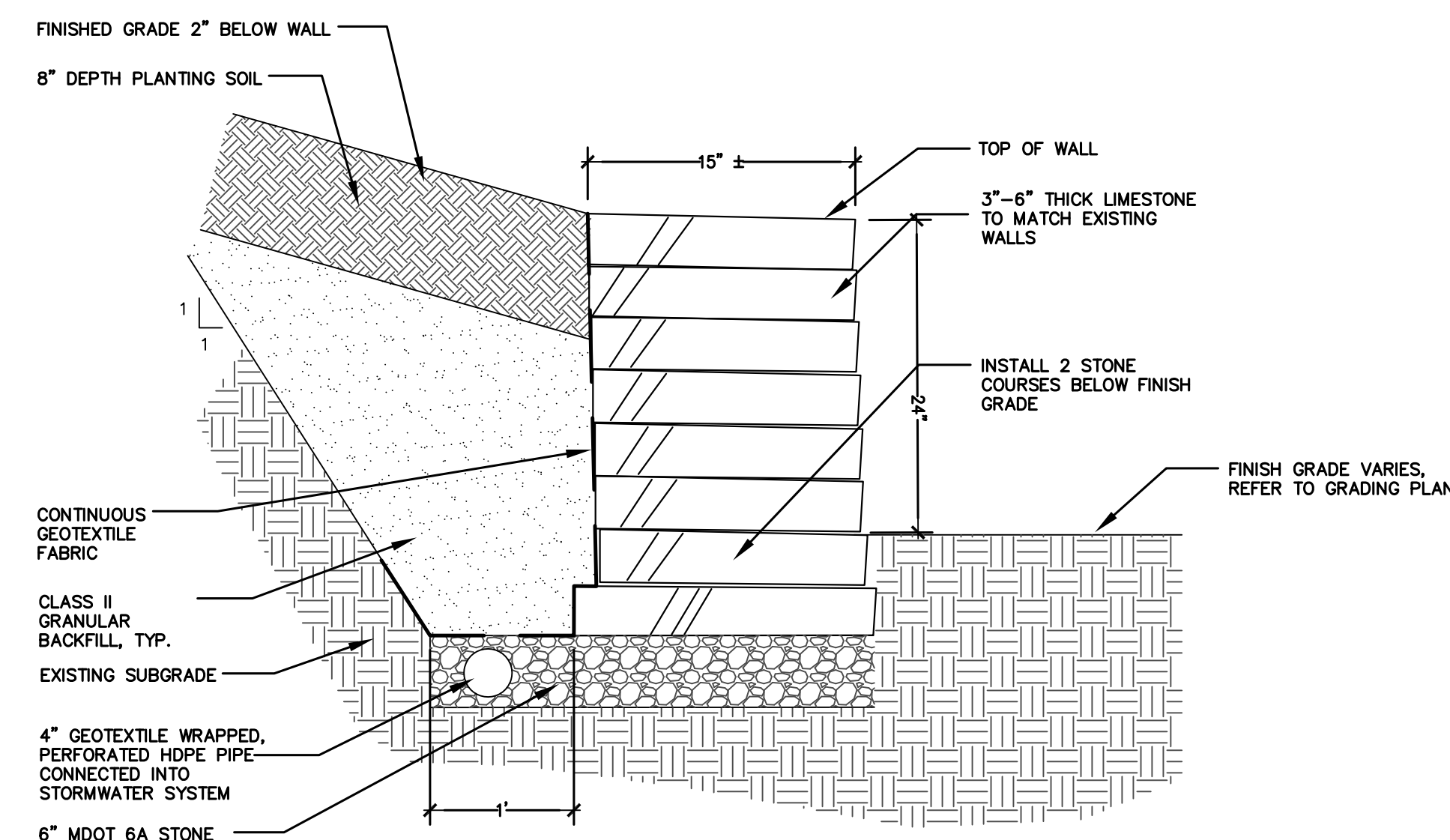
**6 Segmental Unit Retaining Wall and Guardrail**  
Not to Scale



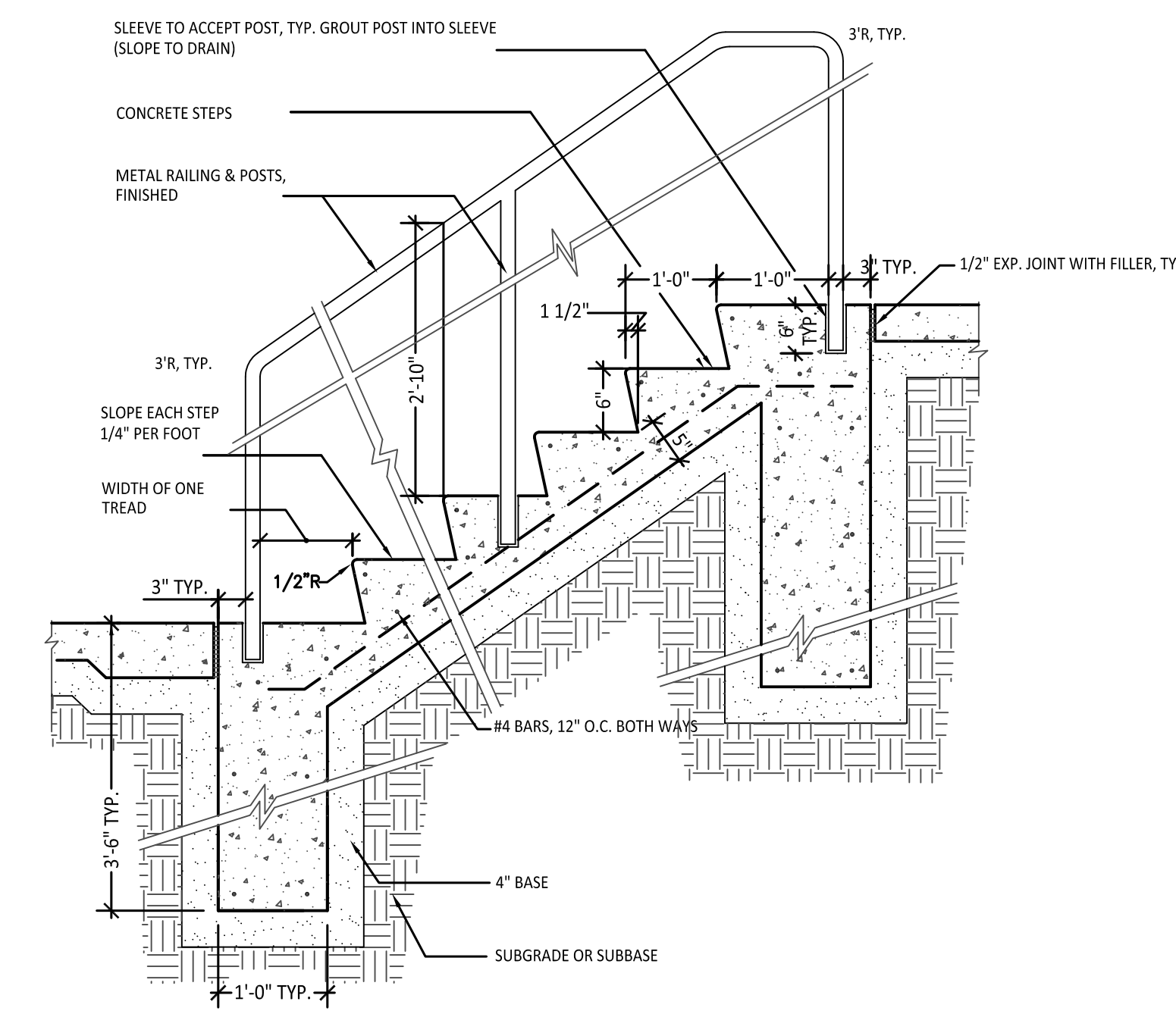
**7 Silt Fence Detail**  
Not to Scale



**10 Wolminized Timber Retaining Wall**  
Not to Scale



**11 Limestone Retaining Wall**  
Not to Scale



**12 Section - Step + Railing Detail**  
NOT TO SCALE

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ISSUED FOR BID - GRADING 6-8-18

Project: \_\_\_\_\_  
**Kalamazoo East Side Gateway Project**

**Kalamazoo, MI**

Sheet Title \_\_\_\_\_

**Details**

Job No. \_\_\_\_\_ Sheet No. \_\_\_\_\_

41708 **C4.0A**



**PROPOSED FEATURES LEGEND:**

SYMBOL	DESCRIPTION	DETAIL
+	DECIDUOUS SHADE TREE	
+	SMALL FLOWERING TREE	
⊗	NATIVE FRUIT TREE	
⊗	SHRUBS	
⊗	ORNAMENTAL GRASS	
▨	GROUNDCOVER AND/OR PERENNIALS	
---	METAL LANDSCAPE EDGING	
⬡	PLANT TAG- REFERS TO TYPE AND NUMBER OF PLANTINGS TO BE PROVIDED AND MAINTAINED BY CONTRACTOR.	

**LANDSCAPE NOTES:**

- SURVEY OF EXISTING CONDITIONS PROVIDED BY FLEIS AND VANDENBRINK, 4798 CAMPUS DRIVE, KALAMAZOO MI 49008 PH: 269-385-0011
- CALL "MISS DIG" AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171. ANY UTILITIES DISTURBED BY CONSTRUCTION SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHOULD BE REPORTED TO THE CONSTRUCTION MANAGER IMMEDIATELY FOR RESOLUTION.
- IN AREAS OF NEW TURF PLACE 4" MINIMUM TOPSOIL, FINE GRADE & ESTABLISH TURF WITHIN SEED LIMIT  
LINES. TURF SEED MIX :  
ECO-TURF LOW MAINTENANCE FESCUE MIX by :  
MICHIGAN WILDFLOWER FARM, 11770 CUTLER ROAD  
PORTLAND, MICHIGAN 48875 ph: 517-647-6010  
www.MICHIGANWILDFLOWERFARM.COM  
OR APPROVED EQUAL.
- INSTALL EROSION BLANKET ON ALL TURF AREAS. SEE SPECIFICATIONS. REFER TO SHEET C3.0
- PLACE SHREDDED HARDWOOD MULCH TO A 3" DEPTH IN ALL TREE & SHRUB BEDS & TO A 2" DEPTH IN ALL GROUND COVER BEDS.
- UNLESS OTHERWISE NOTED, TOPSOIL, FINE GRADE AND SEED ALL DISTURBED AREAS WITHIN THE SEEDING LIMIT SHOWN AND AREAS DISTURBED BY CONSTRUCTION.
- REPAIR AND RESTORE ANY DAMAGE OUTSIDE OF LIMIT OF WORK LINE TO ORIGINAL CONDITION.
- PROTECT ALL TREES AND EXISTING FEATURES TO REMAIN AS SPECIFIED.
- ALL TOPSOIL AND EXCESS FILL MATERIAL SHALL BE STOCKPILED ON SITE SEPARATELY FOR LATER RE-USE. LOCATE STOCKPILES IN AREAS AS DIRECTED BY CONSTRUCTION MANAGER AND PROTECT FROM EFFECTS OF EROSION.
- ALL NURSERY STOCK SHALL BE TRUE TO TYPE AND NAME. ALL STOCK SHALL BE FIRST CLASS QUALITY WITH WELL DEVELOPED BRANCH SYSTEMS AND VIGOROUS HEALTHY ROOT SYSTEMS. ALL STOCK SHALL BE WELL FORMED AND THE TRUNKS OF TREES SHALL BE UNIFORM AND STRAIGHT.
- UNLESS OTHERWISE SPECIFIED, ALL PERENNIALS, GRASSES AND GROUNDCOVERS SHALL BE GROWN IN THEIR CONTAINER FOR ONE YEAR PRIOR TO INSTALLATION.
- LANDSCAPE REQUIREMENTS  

FORESMAN STREET : FRONTAGE = 281 LFT	EAST MICHIGAN AVENUE : FRONTAGE=336 LFT
TREES : 281 / 35 = 8	TREES : 336 / 35 = 10
SHRUBS : 281 / 20 = 14 (3) = 42	SHRUBS : 336 / 20 = 17 (3) = 51

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**FINAL SITE PLAN REVIEW 6-6-18**  
**ISSUED FOR BID - GRADING 6-8-18**  
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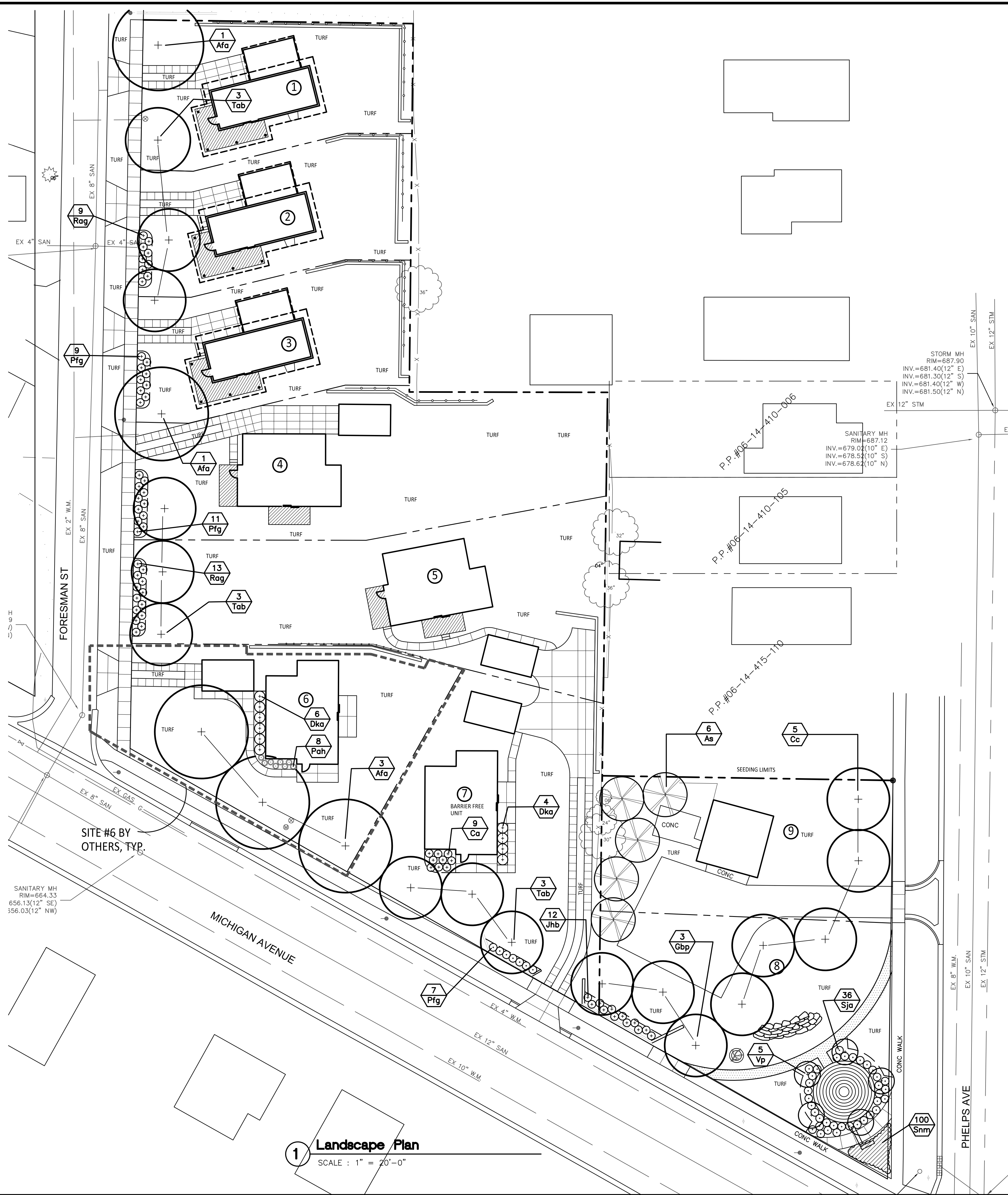
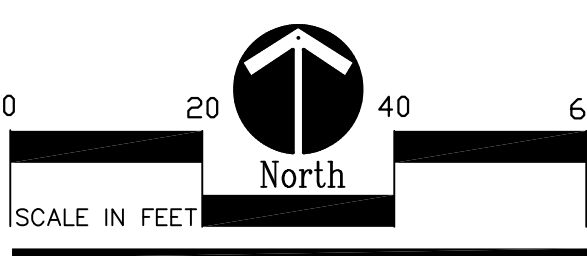
**PLANT LIST:**

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COM.
Afa Gbp Tab	Acer x freemani 'Autumn Blaze' Ginkgo biloba 'Princeton Sentry' Tilia americana 'Boulevar'	Autumn Blaze Maple Princeton Sentry Ginkgo Boulevar American Linden	2.5" cal. 2.5" cal. 2.5" cal.	B&B B&B B&B	
At Cc	Asimina triloba Cercis canadensis	Paw Paw Eastern Redbud	1.5" cal 2" cal.	cont B&B	
Ca Dko Jhb Pfb Pfg Raq Sja Vp	Cotoneaster aciculata Diervilla x 'Kodiak Orange' Juniperus horizontalis 'Blue Chip' Potentilla fruticosa 'Goldfinger' Rhus aromatica 'Grow-Lo' Spiroea japonica 'Alpina' Viburnum prunifolium	Cranberry Cotoneaster Kodiak Orange Diervilla Blue Chip Juniper Goldfinger Potentilla Grow-Lo Sumac Daphne Spiraea Blackhaw Viburnum	18" Ht. 18" Ht. 24" Spread 18" Ht. 18" Ht. 12" Ht. 36" Ht.	Cont. Cont. Cont. Cont. Cont. Cont. Cont.	3' O.C. 4' O.C. 3' O.C. 4' O.C. 4' O.C. 3' O.C. Tree Form
Pah	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	2 Gal.	Cont.	2'-6" O.C.
Snm	Salvia nemerosa 'May Night'	May Night Salvia	1 Gal.	Cont.	18" O.C.

Project: \_\_\_\_\_

**Kalamazoo East Side Gateway Project**

**Kalamazoo, MI**  
 Sheet Title  
**Landscape Plan**



**1 Landscape Plan**  
 SCALE : 1" = 20'-0"

GENERAL NOTES – TWO BEDROOM LAYOUT

- MISCELLANEOUS:
  - DIMENSIONS ARE GIVEN TO FACE OF SIP PANEL OR STUD.
  - GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCY OF DIMENSION OR EXISTING CONDITION, AND FOR CLARIFICATION AS NEEDED.
  - PROJECT TO MEET ALL REQUIREMENTS OF 2015 MICHIGAN RESIDENTIAL CODE AS INTERPRETED BY THE CITY OF KALAMAZOO BUILDING OFFICIAL.
  - PROJECT TO COMPLY WITH ENERGY STAR REQUIREMENTS, DEPARTMENT OF ENERGY ZERO-ENERGY-READY REQUIREMENTS, AND INDOOR AIR PLUS REQUIREMENTS TO ACHIEVE CERTIFICATION. THESE REQUIREMENTS EXCEED MINIMUM REQUIREMENTS OF MICHIGAN UNIFORM ENERGY CODE. NOTE: PROJECT TO BE BID AS SHOWN IN DRAWINGS; OWNER TO RETAIN RATER TO EVALUATE COMPLIANCE.
  - "WATER-SENSE" GUIDELINES TO BE FOLLOWED, BUT CERTIFICATION WILL NOT BE SOUGHT.
  - A "THERMAL ENCLOSURE CHECKLIST" MUST BE COMPLETED BEFORE DRYWALL.
  - ALL MATERIALS, CAULKS, ADHESIVES AND SEALANTS MUST BE LOW OR NO VOC TO MEET INDOOR AIR PLUS REQUIREMENTS.
- DEMOLITION:
  - CLEAR SITE OF DEBRIS AS NEEDED
- FOUNDATION:
  - FOUNDATION AT HOUSE AND GARAGE TO BE SUPERIOR WALL SYSTEM XI – ENGINEERED AND INSTALLED BY AUTHORIZED DISTRIBUTOR. GARAGE FOUNDATION IS NOT REQUIRED TO BE INSULATED. ENGINEER TO COORDINATE WITH SPECIFIC SITE CONDITIONS AT EACH SITE; CONDITIONS VARY AND MAY REQUIRE STEM WALL AT PORTIONS OF FOUNDATION. SEE DOCUMENTS FOR TWO-BEDROOM LAYOUT FOR STEM WALL DETAIL. EXCAVATION CONTRACTOR TO COORDINATE WITH SUPERIOR WALL SYSTEM SUPPLIER FOR FOOTING AND FLOOR DEPTH.
  - FOUNDATION AT DECK TO BE 16" DIAMETER SONOTUBES. BOTTOM OF FOUNDATION TO BE AT FROST LINE.
  - PROVIDE RADON SYSTEM; VENT IN SAME AREA AS PLUMBING STACK. LOCATE FAN IN ATTIC ABOVE CORRIDOR/BATH AREA.
- FLOORS:
  - FLOOR CONSTRUCTION OF BASEMENT OF HOUSE TO BE 4" CONCRETE SLAB ON VAPOR BARRIER ON 2" RIGID INSULATION (UNDER ENTIRE SLAB) ON CLEAN CRUSHED STONE FOOTING. CRUSHED STONE FOOTING TO BE ENGINEERED BY SUPERIOR WALL SYSTEMS ENGINEERS FOR SPECIFIC SITE CONDITIONS.
  - FLOOR CONSTRUCTION OF GARAGE TO BE 4" CONCRETE SLAB WITH 6X6-W1.4XW1.4 WELDED WIRE MESH ON CLEAN CRUSHED STONE FOOTING. CRUSHED STONE FOOTING TO BE ENGINEERED BY SUPERIOR WALL SYSTEMS ENGINEERS FOR SPECIFIC SITE CONDITIONS.
  - FLOOR CONSTRUCTION OF FIRST FLOOR OF HOUSE TO BE ¾" T&G PLYWOOD SUBFLOOR, GLUED AND NAILED TO PRE-FABRICATED 9-1/2" DEEP 210 TJI'S @ 16" O.C.
  - DECKS TO BE FRAMED WITH TREATED 2X6 @ 16" O.C. EXTERIOR GRADE T&G WOOD DECKING AND WOOD FRAMING TO BE AC2 CEDARTONE PREMIUM PRESSURE TREATED PRODUCTS FROM MENARDS.
- WALLS:
  - CONSTRUCTION OF EXTERIOR WALLS AT HOUSE TO BE VINYL SIDING BY CERTAINTED, "MONOGRAM" SERIES ON R-6 ZIP SYSTEM R-SHEATHING BY HUBER ON 2X4 STUDS @ 16" O.C., WITH BATT INSULATION BETWEEN STUDS AND ½" DRYWALL, WITH LEVEL 4 FINISH, AT INTERIOR FACE. SEE WALL SECTION. TYPICAL STUD TO BE NO. 2 D.F. NOTE "T-STUDS" AT CORNER WINDOWS. COORDINATE WITH ARCHITECT FOR SELECTION OF SIDING COLORS.
  - CONSTRUCTION OF EXTERIOR WALLS AT GARAGE TO BE VINYL SIDING BY CERTAINTED, "MONOGRAM" SERIES ON HOUSE WRAP ON 7/8" OSB ON EXPOSED 2X4 STUDS @ 16" O.C., EXCEPT AS INDICATED IN NOTE "H" BELOW. SEE WALL SECTION. COORDINATE WITH ARCHITECT FOR SELECTION OF SIDING COLORS.
  - EXTERIOR TRIM TO BE COMPOSITE LP SMARTSIDE 440 REVERSIBLE TRIM, .625" THICK X 3.5" WIDE, WITH SMOOTH SIDE EXPOSED, FACTORY FINISHED IN WHITE.
  - INTERIOR WALL CONSTRUCTION TO BE 1/2" DRYWALL, WITH LEVEL 4 FINISH, ON 2X4 FRAMING @ 16" O.C., UNLESS OTHERWISE NOTED.
  - INTERIOR FINISH OF GARAGE TO BE NOT LESS THAN 1/2-INCH GYPSUM BOARD OR EQUIVALENT APPLIED ONLY TO THE INTERIOR SIDE OF EXTERIOR WALLS WHERE GARAGE IS LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT.
  - INTERIOR OF WINDOWS AND DOORS TO BE TRIMMED WITH ¾" X 1-1/2" SQUARE-EDGED PAINTED POPLAR.
  - INTERIOR WALL BASE TO BE ¾" X 1-1/2" SQUARE-EDGED PAINTED POPLAR. BASE TO DIE INTO DOOR TRIM.
  - BATHROOM WALLS TO HAVE WATER-RESISTANT GYPSUM BOARD.
  - WALL PAINT "A" TO BE SHERWIN-WILLIAMS SW7028 "INCREDIBLE WHITE", FLAT.
  - TRIM PAINT "A" TO BE SHERWIN-WILLIAMS SW7028 "INCREDIBLE WHITE", EGG SHELL.
  - WALL PAINT "B" TO VARY PER HOUSE. COORDINATE WITH ARCHITECT FOR SELECTION.
  - TRIM PAINT "B" TO VARY PER HOUSE. COORDINATE WITH ARCHITECT FOR SELECTION.
  - SEE WALL SECTION FOR LOCATIONS WHERE SEALANTS ARE REQUIRED TO MEET ENERGY STAR AND DOE ZER REQUIREMENTS. ALL SEALANTS AND CAULKS TO BE NO OR LOW VOC TO MEET INDOOR AIR PLUS REQUIREMENTS.
- ROOF:
  - ROOF ON HOUSE TO BE ASPHALT SHINGLES BY CERTAINTED, "LANDMARK" SERIES, ON ROOFING FELT AND 6" ICE AND WATER SHIELD ON 10-1/4" SIP PANEL BY PORTER, INC., 4/12 SINGLE SLOPE. SHINGLE COLOR TO BE "WEATHERED WOOD". IMPORTANT: ROOF SIP PANELS TO INCLUDE ELECTRICAL CHASES WHERE SHOWN ON PLANS. REFER TO FRAMING PLANS FOR LOCATION OF DOUBLE 2X10 SPLINES AT SIP EDGES.
  - ROOF ON DETACHED GARAGE TO BE ASPHALT SHINGLES BY CERTAINTED, "LANDMARK" SERIES, ON ROOFING FELT AND 6" ICE AND WATER SHIELD, ON 2X8 RAFTERS @ 16" O.C., 4/12 SINGLE SLOPE. SHINGLE COLOR TO BE "WEATHERED WOOD". SEE SHEET A1.2 FOR ROOF VENT LOCATIONS.
  - CANOPY ROOF (WHERE SHOWN) TO BE CORRUGATED ZINC ROOFING ON BRACKETS MADE FROM 4X4 AC2 CEDAR TONE PREMIUM PRESSURE TREATED TIMBERS, AVAILABLE AT MENARDS.
  - FASCIA TO BE LP SMARTSIDE 440 SERIES REVERSIBLE TRIM, .625 INCH THICK, SMOOTH SIDE EXPOSED, FACTORY FINISHED IN WHITE.
  - SOFFIT TO BE LP SMARTSIDE 76 SERIES SMOOTH FINISH SOFFIT, .375 INCH THICK, FACTORY FINISHED IN WHITE. INSTALL SOFFIT PANELS WITH ¼" REVEAL BETWEEN PANELS. PROVIDE BLACK RAIN-SCREEN GASKET AT REVEALS.
  - CEILINGS TO BE VAULTED AS SHOWN IN BUILDING SECTION. INTERIOR CEILING FINISH TO BE 1/2" DRYWALL, WITH LEVEL 4 FINISH, AT UNDERSIDE OF SIP PANEL.
  - CEILING TO BE PAINTED WITH WALL PAINT "A" TO BE SHERWIN-WILLIAMS SW7022 "ALPACA", FLAT.
  - ALL CEILING PENETRATIONS TO BE SEALED WITH NO OR LOW VOC CAULK OR FOAM, INCLUDING PARTITION WALLS. AT ATTIC, FOAM THE PENETRATIONS FROM THE ATTIC SIDE BEFORE INSULATING.
- INSULATION:
  - INSULATION TO ACHIEVE AND/OR EXCEED MINIMUM R-VALUE RATINGS (PER MICHIGAN UNIFORM ENERGY CODE) AS FOLLOWS:
  - FOUNDATION WALLS (R= 10/13 MIN) : PER MANUFACTURER OF FOUNDATION SYSTEM, R-VALUE = 12.5. AFTER INSTALLATION OF XI SYSTEM BY SUPERIOR, PROVIDE ADDITIONAL R-19 BATT INSULATION WITHIN FOUNDATION SYSTEM CAVITIES AND FINISH WITH ½" DRYWALL.
  - EXTERIOR 2X4 FRAMED WALLS (R = 20 OR 13+5 MIN): THOROUGHLY COAT ALL STUD CAVITIES WITH NO OR LOW VOC CAULK AND PROVIDE 3-1/2" BATT INSULATION BETWEEN 2X4 STUDS FOR R-13 RATING. IN ADDITION, AT EXTERIOR FACE, PROVIDE CONTINUOUS INSULATION WITH R-6 ZIP R-SHEATHING BY HUBER FOR R-6.6 RATING; TAPE SEAMS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. FULLY INSULATE BEHIND ALL WALL INTERSECTIONS.
  - SIP PANEL ROOF (R= 38 MIN): PER MANUFACTURER, R-VALUE OF 10" THICK PANEL IS 42.5. FOR CERTIFICATION, VALUE OF INSULATION TO BE MINIMUM R-38 ACROSS ENTIRE ASSEMBLY.
  - UNHEATED SLAB AT CONDITIONED BASEMENT (R=10, 2 FT MIN): PROVIDE CONTINUOUS 2" RIGID INSULATION BELOW ENTIRE SLAB FOR R-10 RATING.
- WINDOWS AND DOORS:
  - WINDOWS AND SLIDING DOOR TO BE BY PELLA, ENCOMPASS SERIES, ENERGY STAR, BUILDERS' VINYL; SEE WINDOW/DOOR SCHEDULE FOR WINDOW SIZE AND TYPE. MANUFACTURER TO VERIFY COMPLIANCE WITH EGRESS REQUIREMENTS. EXTERIOR AND INTERIOR OF WINDOW TO BE WHITE. EXTENSION JAMB TO BE PRIMED WOOD. SLIDING DOOR THRESHOLD TO BE ¾" MAXIMUM.
  - BASEMENT EGRESS WINDOW TO BE BY PELLA, 250 SERIES, ENERGY STAR; SEE WINDOW/DOOR SCHEDULE. MANUFACTURER TO VERIFY COMPLIANCE WITH EGRESS REQUIREMENTS. EXTERIOR AND INTERIOR OF WINDOW TO BE WHITE. EXTENSION JAMB TO BE PRIMED WOOD.
  - EXTERIOR DOOR AND TRANSOM TO BE BY THERMA-TRU, SMOOTH STAR SERIES S100, ENERGY STAR, FLUSH FACE INSULATED FIBERGLASS, TO BE FIELD-PAINTED AFTER THE FAST BUILD; SEE WINDOW/DOOR SCHEDULE FOR DOOR SIZE. DOOR TO HAVE PEEP-HOLE. HARDWARE AND THRESHOLD TO BE SATIN CHROME. THRESHOLD TO BE BARRIER-FREE.
  - INTERIOR DOORS TO BE 6'-8", FLUSH FACE, CLEAR-COATED MAPLE VENEER MDF SOLID CORE DOORS. SEE PLAN FOR DOOR WIDTHS. DOOR HARDWARE TO BE ADA COMPLIANT AND SATIN CHROME.
  - PROVIDE CORRUGATED STEEL EGRESS WINDOW WELL AT BASEMENT WHERE SHOWN ON PLANS. PROVIDE LADDER AND COVER TO FIT. FOUNDATION CONTRACTOR TO DETERMINE SIZE OF WINDOW WELL IN FIELD.
  - OVERHEAD DOOR TO BE FLUSH PANEL FIBERGLASS GARAGE DOOR BY C.H.I., MODEL 2150, PROVIDE ELECTRIC DOOR OPENER. DOOR TO BE FACTORY-FINISHED IN "SANDSTONE"
  - AT DOORS AND WINDOWS, FILL VOIDS WITH CLOSED CELL SPRAY FOAM INSULATION AND SEAL JOINTS WITH NO OR LOW VOC SEALANT.

h. WINDOW SILLS, TRIM AND EXTENSION JAMBS TO BE FIELD- PAINTED.

- MILLWORK:
  - KITCHEN AND BATH CABINET LAYOUTS TO BE PROVIDED BY NEWCRAFT CABINETRY, OR ARCHITECT APPROVED EQUAL. SHOP DRAWINGS TO BE REVIEWED BY ARCHITECT.
  - CABINET DOORS TO BE TUSCANY SERIES, SHAKER STYLE, FACTORY-PAINTED IN "DOVE", OR EQUAL. COORDINATE WITH ARCHITECT FOR SELECTION OF CABINET DOOR PULLS.
  - COUNTERTOPS AT KITCHEN TO BE PLASTIC LAMINATE BY WILSONART, 4886-38, "PEARL SOAPSTONE" (FINE VELVET FINISH).
  - SEAL BACK OF PARTICLE BOARD COUNTERTOPS WITH NO OR LOW VOC SEALER TO TRAP FORMALDEHYDE PRIOR TO APPLYING LAMINATE.
- FLOOR FINISHES:
  - FLOOR FINISH THROUGHOUT MAIN FLOOR TO BE PREMIUM ENGINEERED VINYL GLUE-LESS FLOATING FLOOR BY SHAW FLOORS, ENDURA 512C PLUS. COORDINATE WITH ARCHITECT FOR COLOR SELECTION.
  - STAIR TREADS TO BE GLUE-DOWN LAMINATE PLANK WITH PRE-ATTACHED STAIR NOSING. COORDINATE WITH ARCHITECT FOR SPECIFIC SELECTION.
  - STAIR RISERS TO BE PAINTED POPLAR. COORDINATE WITH ARCHITECT FOR SPECIFIC PAINT SELECTION.
  - AT BASEMENT, FLOOR TO BE EXPOSED CONCRETE.
- SPECIALTIES:
  - OWNER TO PROVIDE WIRE SHELVING SYSTEM.
  - PROVIDE IN-WALL BLOCKING AT LOCATIONS OF FUTURE GRAB BARS.
- ELECTRICAL:
  - LIGHT FIXTURES TO BE PROVIDED BY OWNER PRIOR TO CONSTRUCTION. ELECTRICAL CONTRACTOR TO INSTALL ALL FIXTURES, AS WELL AS INTERIOR AND EXTERIOR OUTLETS, CIRCUITING, SWITCH, COMPUTER, AND TELEVISION CABLE CONNECTIONS.
  - AT LIVING, INSTALL:
    - CEILING-MOUNTED JUNO SLIMFORM FIXTURES, 7" DIAMETER, 3000 K. COORDINATE WITH ARCHITECT FOR FINISH AND ACCESSORY SELECTION. ELECTRICAL CHASE TO BE PROVIDED IN SIP PANELS TO ACCOMMODATE WIRING.
  - AT DINING AREA, INSTALL:
    - COMBINATION CEILING FAN/LIGHT BY MINKA AIRE: "ZEN", 52" DIAMETER, BRUSHED NICKEL, ENERGY STAR. ELECTRICAL CHASE TO BE PROVIDED IN SIP PANELS TO ACCOMMODATE WIRING.
  - AT KITCHEN, INSTALL:
    - UNDERCABINET LED TAPE LIGHTS. 3000K COLOR TEMP.
    - CEILING-MOUNTED JUNO SLIMFORM FIXTURES, 7" DIAMETER, 3000 K. COORDINATE WITH ARCHITECT FOR FINISH AND ACCESSORY SELECTION. ELECTRICAL CHASE TO BE PROVIDED IN SIP PANELS TO ACCOMMODATE WIRING.
    - WALL-MOUNTED SCONCE BY PROGRESS LIGHTING P5674-82/30K METALLIC GRAY LED CYLINDER DOWN LIGHT
  - AT BATH, INSTALL:
    - 18" BRINK SLIM BATH BAR, BRUSHED ALUMINUM, 3000 K, LED WALL-MOUNTED VANITY LIGHT FIXTURE.
    - COMBINATION LIGHT/EXHAUST FAN BY PANASONIC, FV0511VKL1. ROUTE EXHAUST THROUGH ROOF. INCLUDE OPTIONAL CONDENSATION SENSOR: FV-CSVK1.
  - AT BEDROOM CORRIDOR, INSTALL:
    - WALL-MOUNTED FIXTURE BY JU NO, SLIMFORM, 5" DIAMETER, 3000K. COORDINATE WITH ARCHITECT FOR FINISH AND ACCESSORY SELECTION.
  - AT BEDROOMS, INSTALL:
    - SWITCH OUTLET FOR LAMP ON BED WALL.
    - WALL-MOUNTED FIXTURE BY JUNO, SLIMFORM, 5" DIAMETER, 3000K. COORDINATE WITH ARCHITECT FOR FINISH AND ACCESSORY SELECTION.
    - CEILING MOUNTED FIXTURE AT CLOSETS AND BEDROOM CORRIDOR TO BE BY JUNO, SLIMFORM, 5" DIAMETER, 3000K. COORDINATE WITH ARCHITECT FOR FINISH AND ACCESSORY SELECTION.
  - AT BASEMENT, INSTALL PORCELAIN SOCKETS WITH LED LAMPS.
  - AT EXTERIOR OF FRONT ENTRY AND AT EXTERIOR OF SLIDING DOOR, INSTALL:
    - WALL-MOUNTED SCONCE BY PROGRESS LIGHTING P5674-82/30K METALLIC GRAY LED CYLINDER DOWN LIGHT
  - ALL FIXTURES TO BE LED AND MUST BE ENERGY STAR-QUALIFIED.
  - PROVIDE WIRING CHASE, HARNESS POINT, AND CLEARANCE SPACE AT THE BREAKER PANEL FOR FUTURE SOLAR INSTALLATION.
  - RECEPTACLE OUTLETS AND LIGHT CONTROLS TO BE LOCATED 15 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FLOOR, TO MEET VISIBILITY REQUIREMENTS..
  - REFER TO MECHANICAL DRAWINGS FOR METER LOCATIONS.
- HVAC:
  - HVAC SYSTEM TO BE SMALL DUCT SYSTEM AS SHOWN ON MECHANICAL DRAWINGS.
  - PROGRAMMABLE THERMOSTATS ARE REQUIRED.
  - INDOOR AIR QUALITY CERTIFIED UNDER EPA INDOOR AIR PLUS
  - PROVIDE ENERGY RECOVERY VENTILATOR TO PROVIDE REQUIRED FRESH AIR TO HOUSE. MODEL NO. TO BE BROAN ERV140ECM.
  - DUCT SHAFTS, UTILITY PENETRATIONS AND FLUE SHAFTS OPENING TO THE EXTERIOR SHALL BE SEALED.
  - SEE EXTERIOR ELEVATIONS, SHEET A3.1, FOR LOCATION OF EXHAUST VENTS.
- PLUMBING:
  - PLUMBING FIXTURES TO BE PROVIDED BY OWNER PRIOR TO CONSTRUCTION. PLUMBING CONTRACTOR TO INSTALL THE FOLLOWING.
    - ALL FIXTURES TO BE LOW-FLOW (LAV – 0.5 GPM, SHOWER – 1.5 GPM, KITCHEN SINK – 1.5 GPM, TOILET – 1.2 GPF)
    - WC: NIAGARA CONSERVATION N7717N7714, CENTOCO TRIM MODEL 600. CONTRACTOR TO VERIFY IF 10" OR 12" ROUGH-IN IS REQUIRED.
    - BATHROOM VANITY TOP AND BOWL: SINGLE HOLE, ADA COMPLIANT WALL-MOUNTED SINK BY TECLA MAR01011.
    - BATHROOM VANITY FAUCET: ADA-COMPLIANT DELTA TRINSIC 599LF-HGM-PP LEVER FAUCET.
    - KITCHEN SINK: DAYTON DSE23322; STAINLESS STEEL, DOUBLE BOWL, TOP MOUNT SINK, 3 FAUCET HOLE, DEARBORN BRASS 15 SNAP-N-TITE LOCKING CUP SINK BASKET STRAINER.
    - KITCHEN FAUCET: DELTA 340-WE-DST FAUCET; 1.0GPM (WITH AERATOR FLOW RESTRICTOR INSERT)
    - SHOWER: AQUATIC, MODEL# # 727149389703, WHITE
    - SHOWER FAUCET: ADA COMPLIANT FAUCET TO BE XXX.
    - BATH TUB: NOT USED
    - BATH TUB FAUCET: NOT USED
    - HOSE-BIBB: ZURN Z1345, NON-FREEZE, ANTI-SIPHON, AUTOMATIC DRAINING, CHROME FINISH.
    - CITY WATER AND SEWER ARE LOCATED IN EAST MICHIGAN AVENUE AND FORESMAN AVENUE. INCLUDE TAP FEE AND COST OF NEW LEAD TO HOUSE.
    - WATER HEATER TO BE ELECTRIC AND MUST MEET EFFICIENCY LEVELS FOUND IN SECTION 3.3 OF THE EPA WATERSENSE SINGLE-FAMILY NEW HOME SPECIFICATION AND BE ENERGY STAR-QUALIFIED. LOCATE WATER HEATER SO THAT THE HOT WATER DISTRIBUTION SYSTEM SHALL STORE NO MORE THAN 5 GALLONS BETWEEN HOT WATER SOURCE AND HOT WATER FIXTURE. TO MINIMIZE WATER WASTED WHILE WAITING FOR HOT WATER, THE HOT WATER DISTRIBUTION SYSTEM SHALL STORE NO MORE THAN 0.5 GALLONS (1.9 LITERS) OF WATER IN ANY PIPING/MANIFOLD BETWEEN THE HOT WATER SOURCE AND ANY HOT WATER FIXTURE.
    - IF SLUMP CROCK IS REQUIRED, CROCK MUST BE SEALED WITH "RADON-READY" LID.
    - PROVIDE ½" HOME RUNS FROM EACH FIXTURE TO WATER HEATER. PROVIDE ¾" INCH MANIFOLD FOR 3--FEET MAXIMUM FROM THE WATER HEATER.
- SITWORK:
  - GRADING OF SITE AND CONSTRUCTION OF RETAINING WALLS BY OTHERS; SITE DRAWNGS INCLUDED FOR INFORMATION ONLY.
  - INCLUDE COST FOR UTILITY INSTALLATION, FLAT WORK AND LANDSCAPING;
- APPLIANCES (TO BE PROVIDED BY BUILDER):
  - ENERGY STAR-RATED, ADA COMPLIANT REFRIGERATOR TO BE BY GE, MODEL #: GTE16GSHSS, 28" WIDE X 64-1/4" HIGH X 29-1/2" DEEP, 15.3 CF, STAINLESS STEEL FINISH.
  - ENERGY STAR DISHWASHER TO BE BY GE, MODEL # GDF520PGJ/PSJSS, STAINLESS STEEL FINISH.
  - ENERGY STAR COMBINATION MICROWAVE/HOOD TO BE BY GE, MODEL #: JVM3160RFSS OVER-THE-RANGE MICROWAVE OVEN, STAINLESS STEEL FINISH. TAKE CARE TO ALIGN EXHAUST WITH SPACE BETWEEN STUDS FOR HORIZONTAL EXHAUST TO EXTERIOR.
  - ENERGY STAR AND ADA COMPLIANT ELECTRIC RANGE TO BE BY GE, MODEL # JB450RKSS, FREE-STANDING, STAINLESS STEEL FINISH.
  - GARBAGE DISPOSER TO BE BY GE, MODEL # GFC530V, ½ HORSEPOWER CONTINUOUS-FEED DISPOSER.
  - ENERGY STAR AND ADA COMPLIANT VENTLESS COMBINATION WASHER/DRYER TO BE BY LG WM3997HWA, 27" W X 30" DEEP.

sheet name

GENERAL NOTES

project number

18016

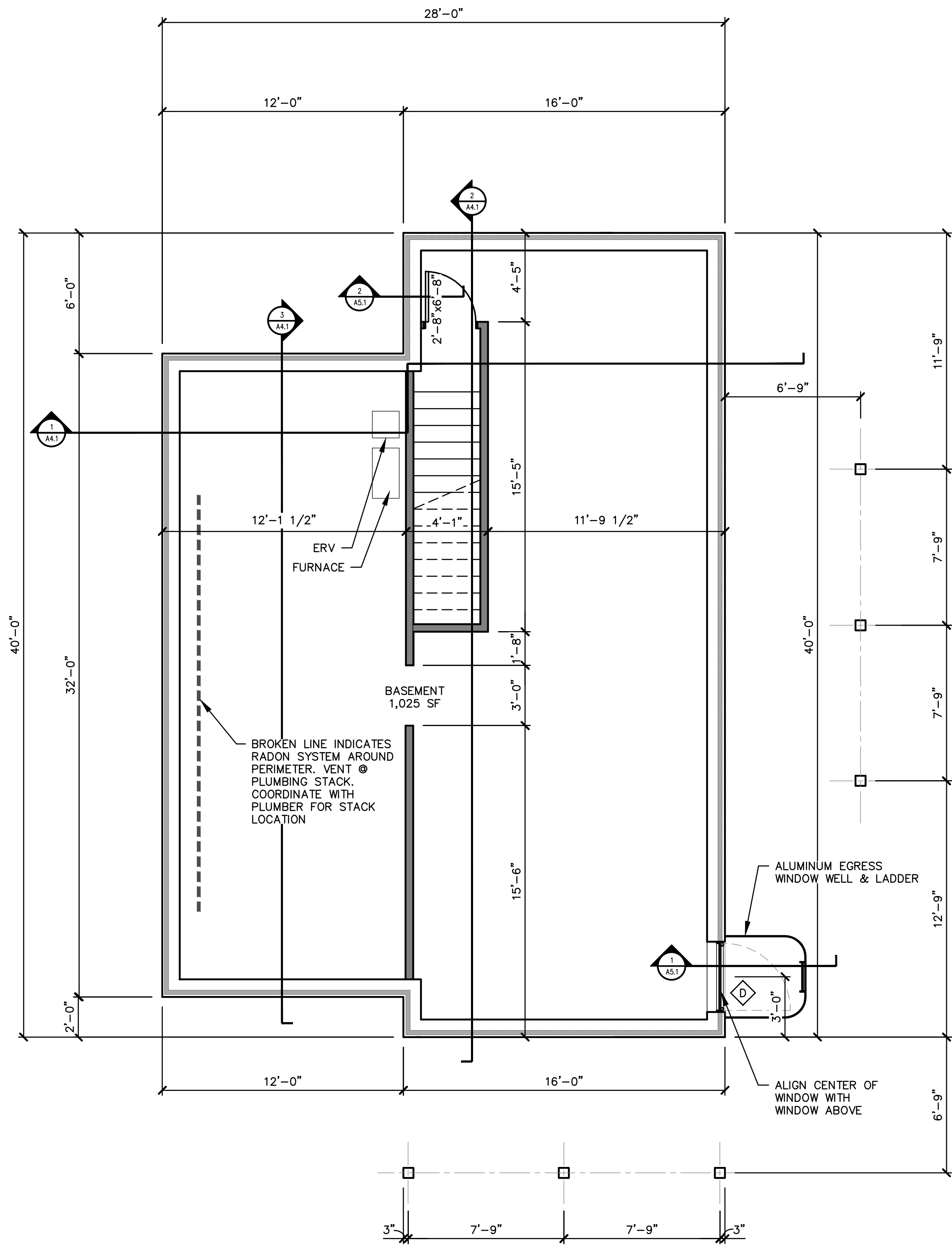
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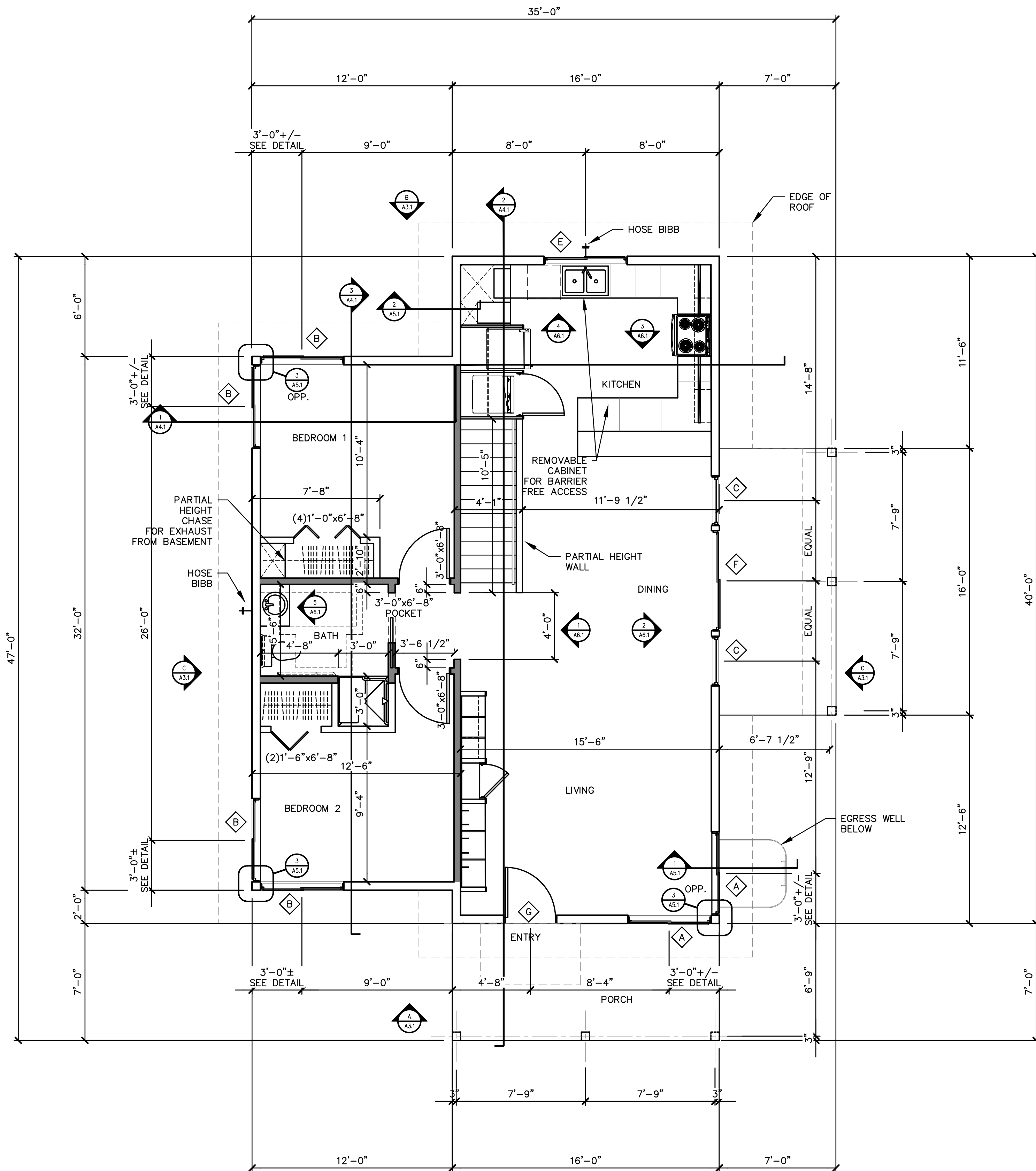
sheet number

A1.0





NORTH  
**BASEMENT PLAN**  
SCALE: 1/4" = 1'-0"



**MAIN LEVEL 978 SF**

NORTH  
**MAIN LEVEL PLAN**  
SCALE: 1/4" = 1'-0"

New Construction:  
**Eastside Gateway Project**  
**2 Bedrooms**  
East Michigan Ave. Between Forseman Ave. & Phelps Ave.  
Kalamazoo, MI 49048

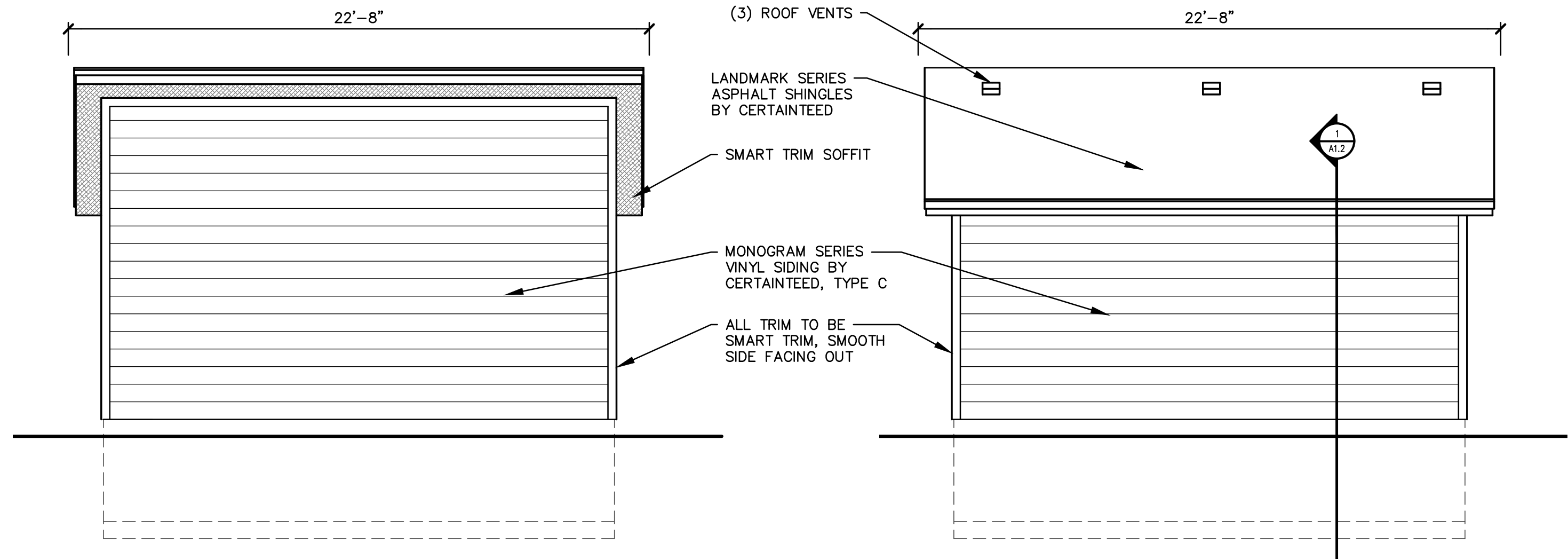
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**BASEMENT & MAIN LEVEL PLANS**

project number  
**18016**

drawing date  
7.3.18

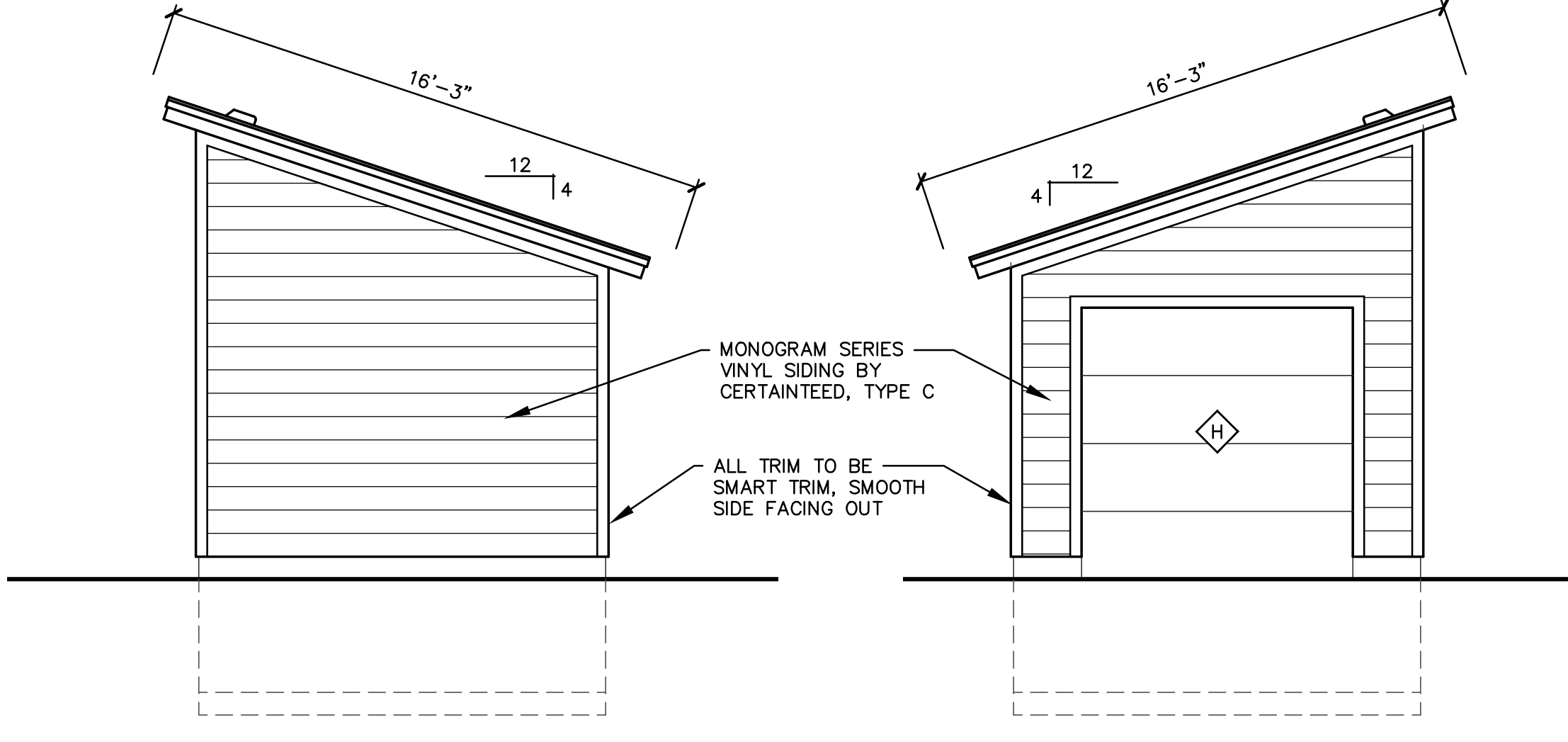
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**A.I.I.**



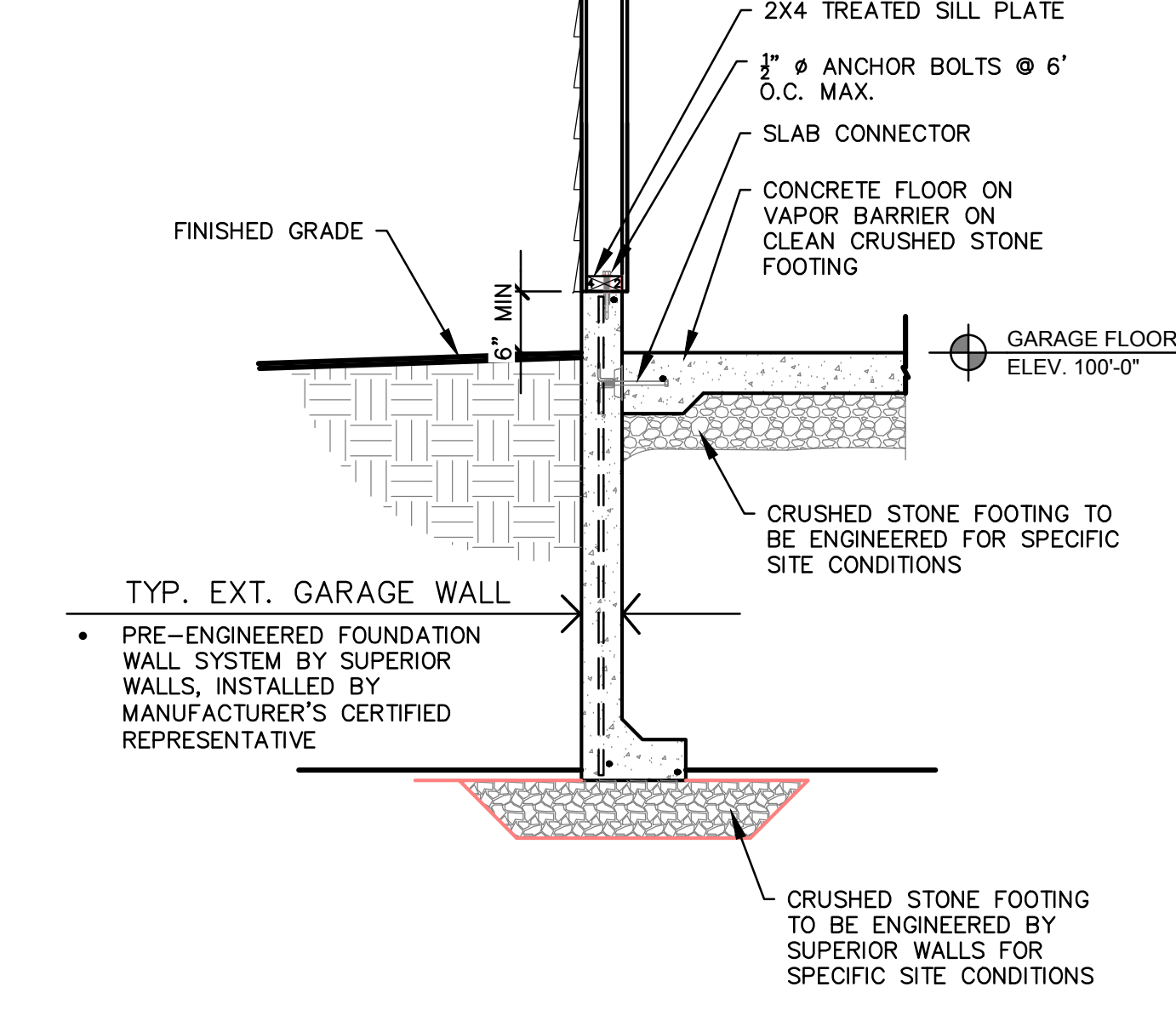
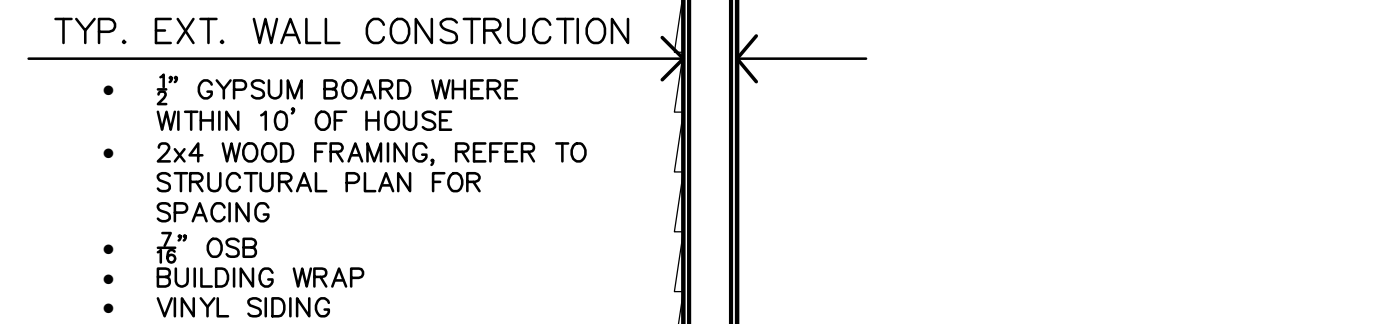
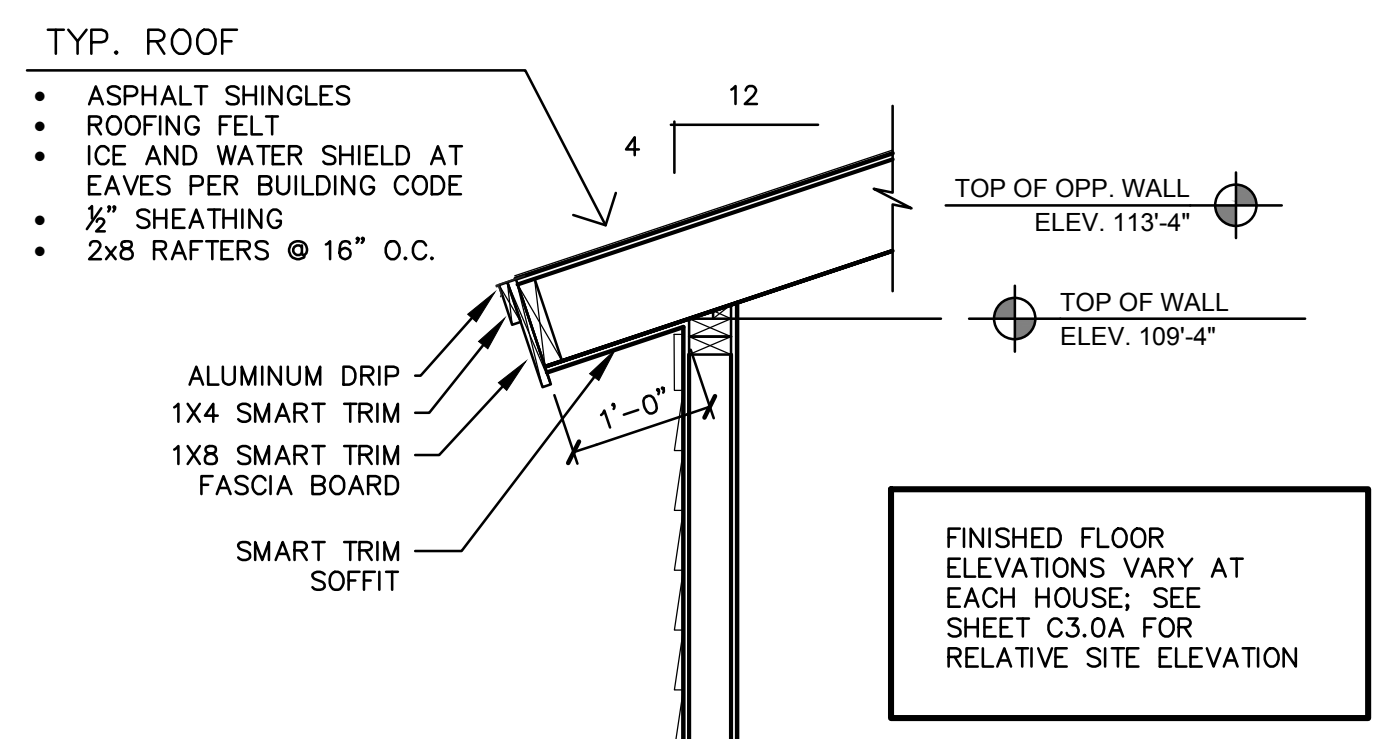
D GARAGE SIDE  
A1.2 SCALE 1/4" = 1'-0"

C GARAGE SIDE  
A1.2 SCALE 1/4" = 1'-0"

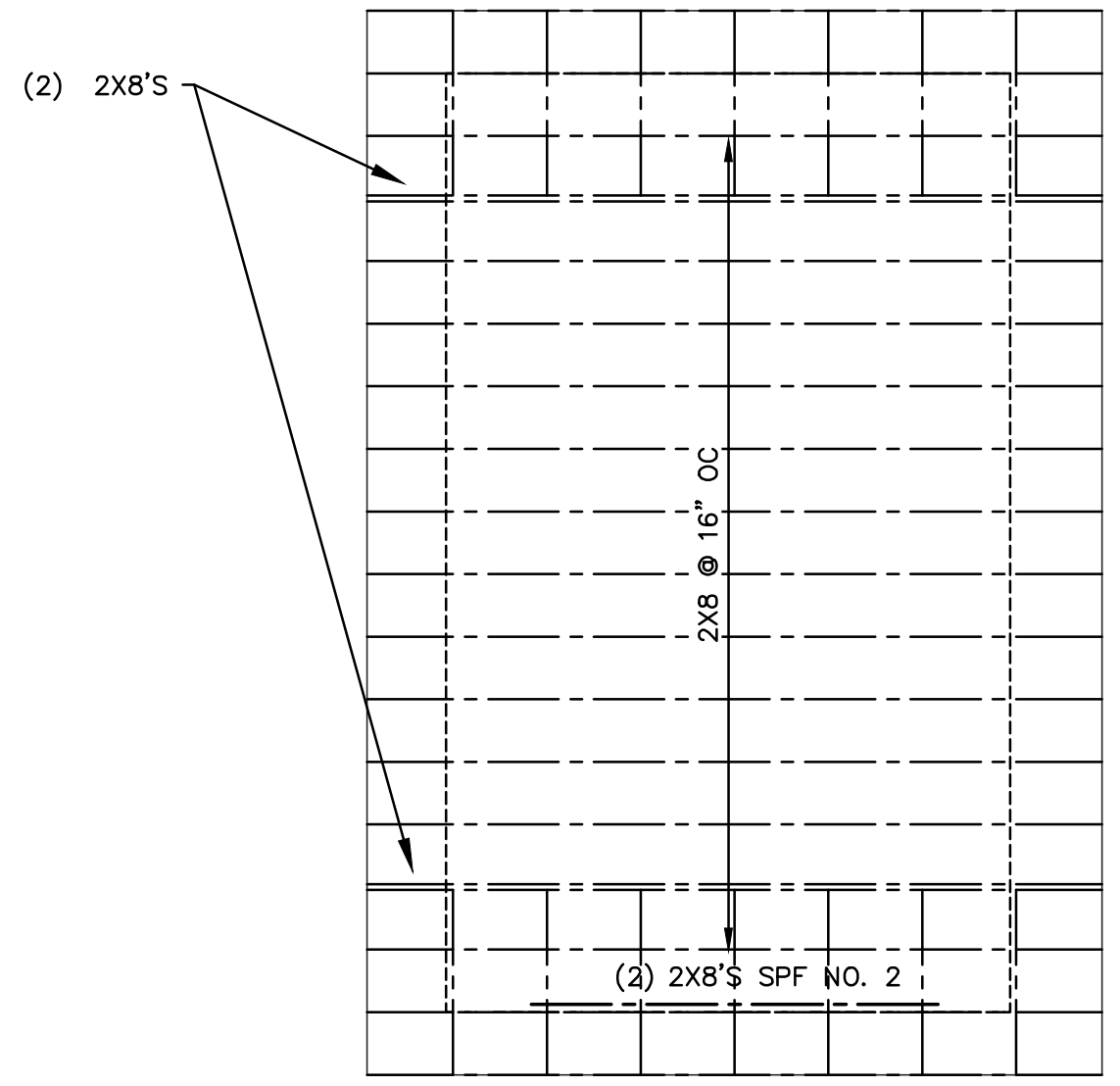


B GARAGE BACK  
A1.2 SCALE 1/4" = 1'-0"

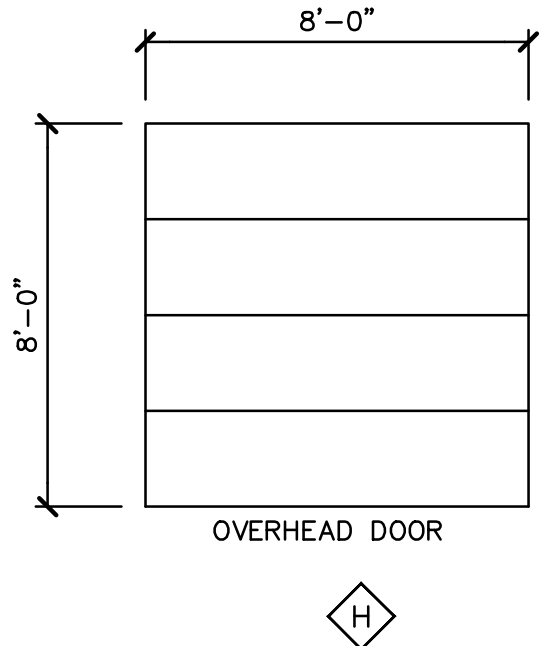
A GARAGE FRONT  
A1.2 SCALE 1/4" = 1'-0"



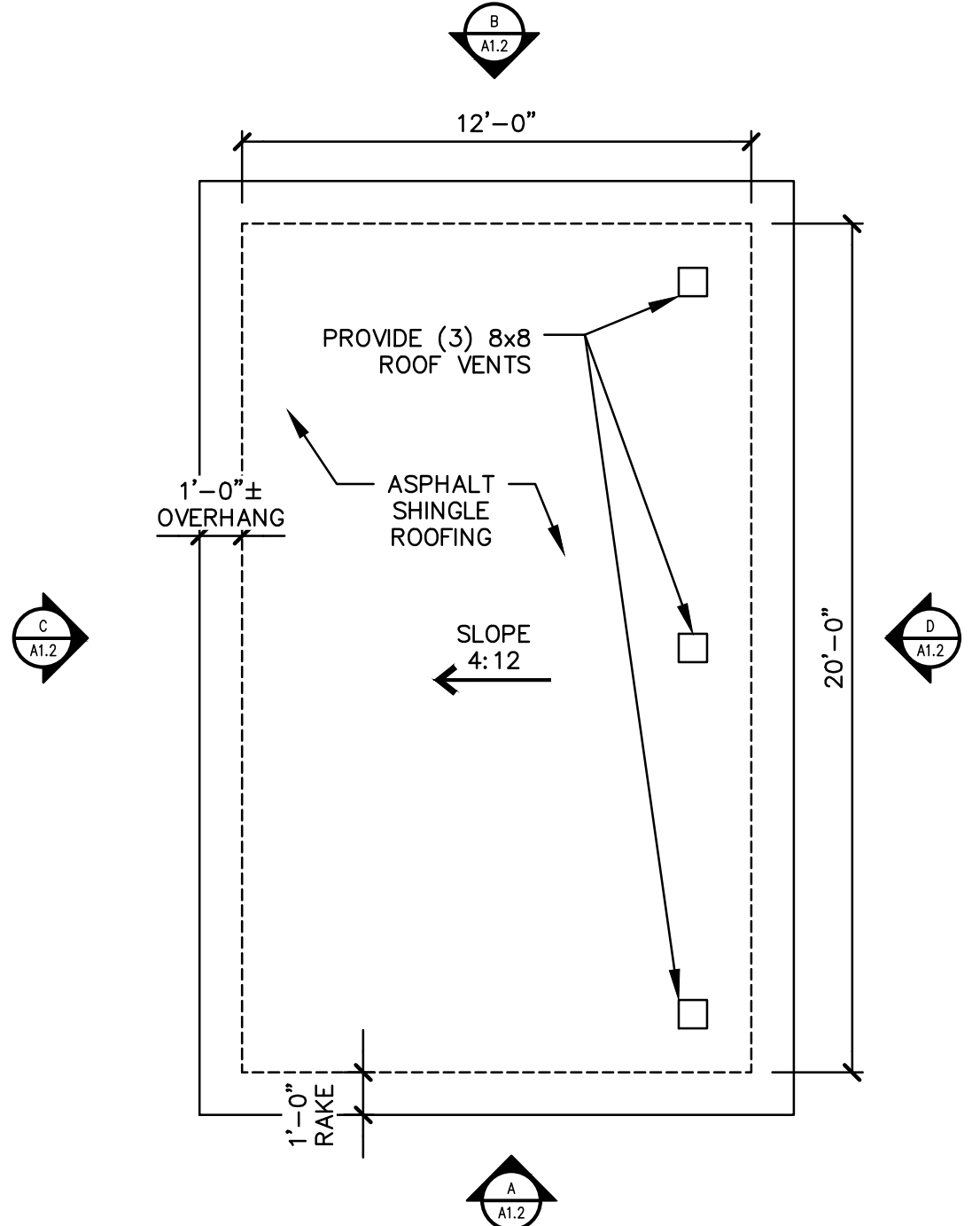
1 WALL SECTION @ GARAGE  
A1.2 SCALE 3/4" = 1'-0"



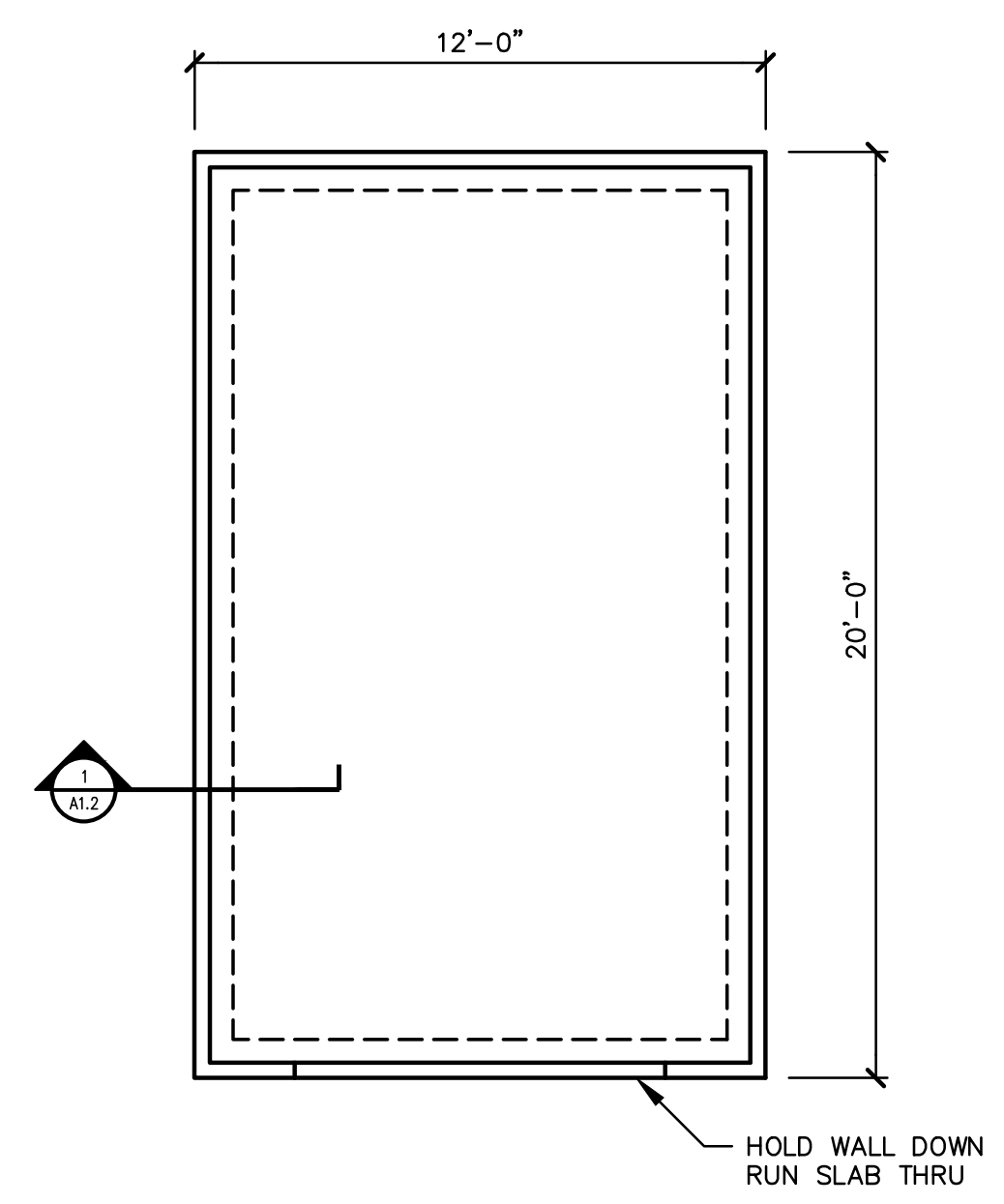
NORTH  
GARAGE ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"



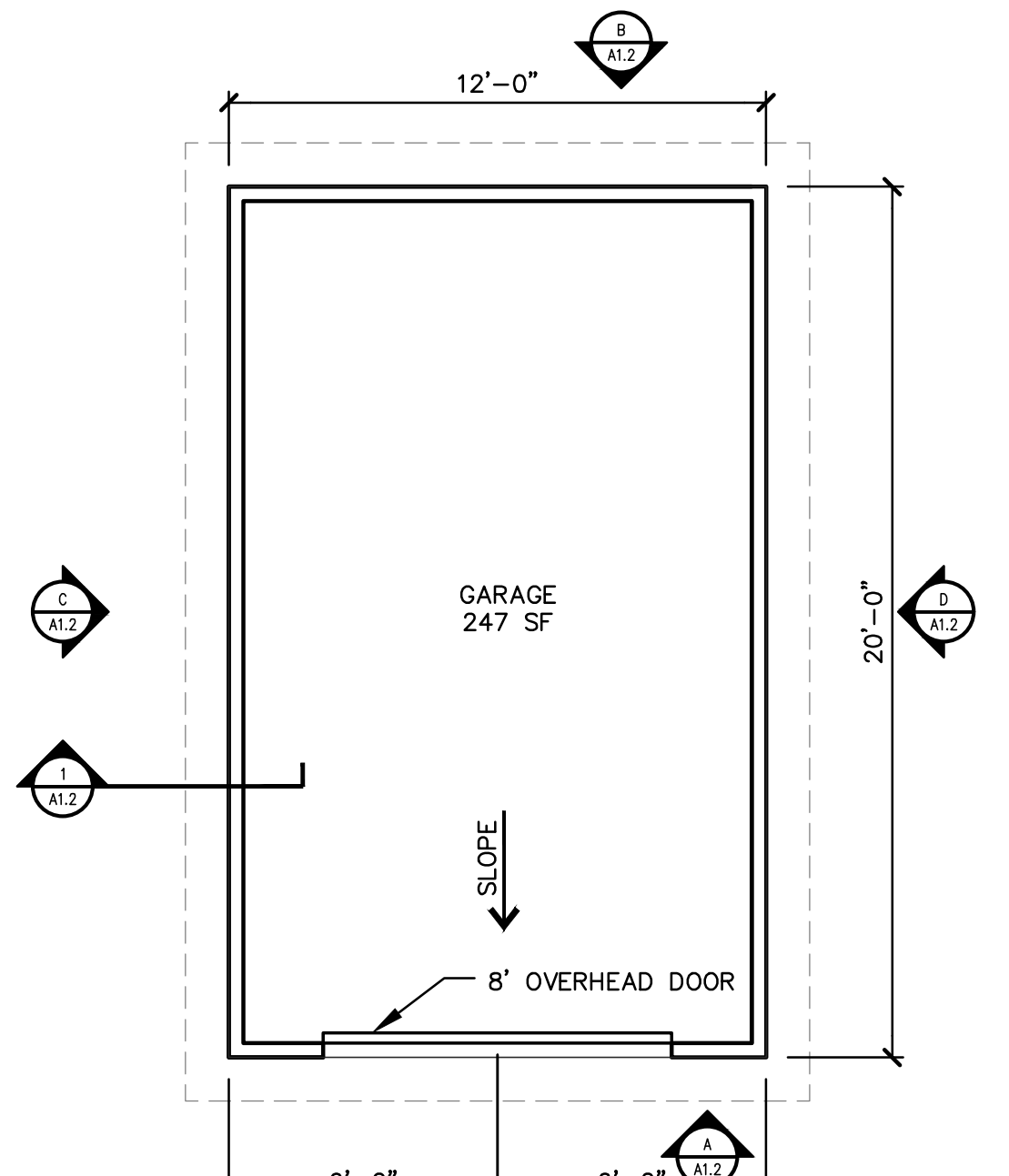
EXTERIOR DOOR TYPE  
SCALE: 1/4" = 1'-0"



NORTH  
DETACHED GARAGE ROOF PLAN  
SCALE: 1/4" = 1'-0"

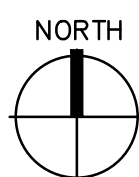
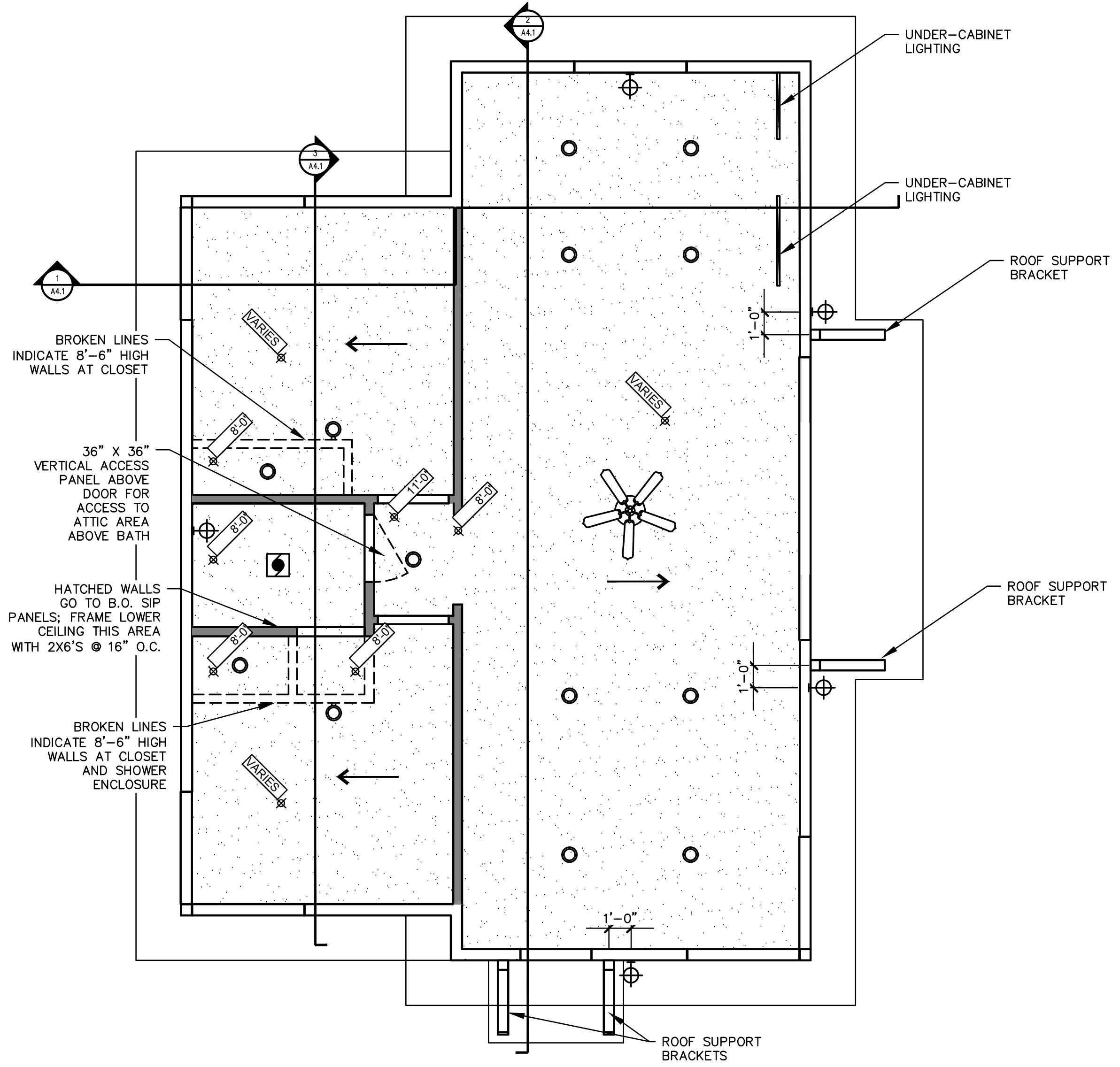


NORTH  
DETACHED GARAGE FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

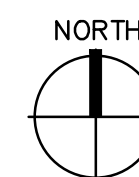
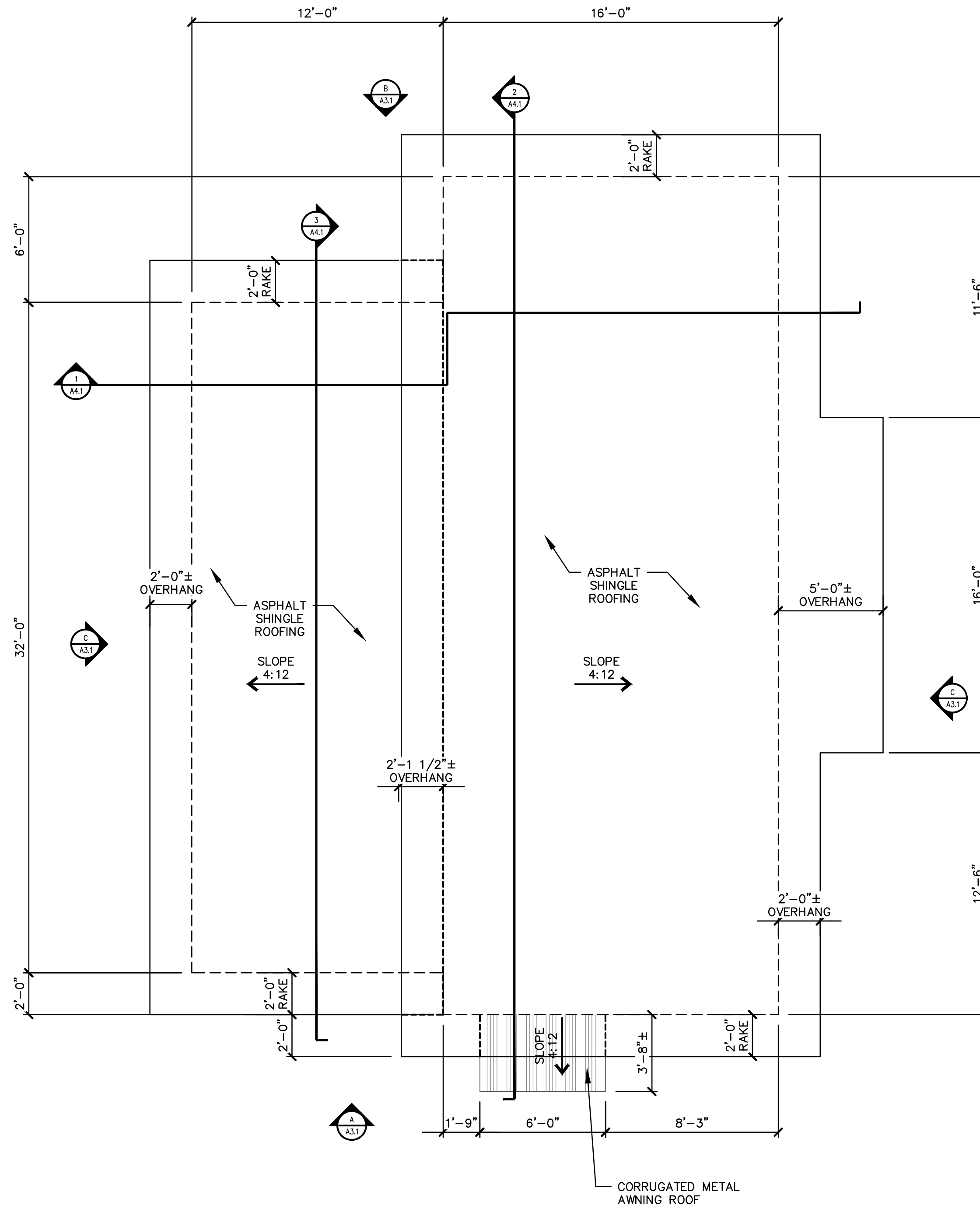


NORTH  
DETACHED GARAGE PLAN  
SCALE: 1/4" = 1'-0"





**REFLECTED CEILING/ LIGHTING PLAN**  
SCALE: 1/4" = 1'-0"



**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

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Kalamazoo, MI 49048

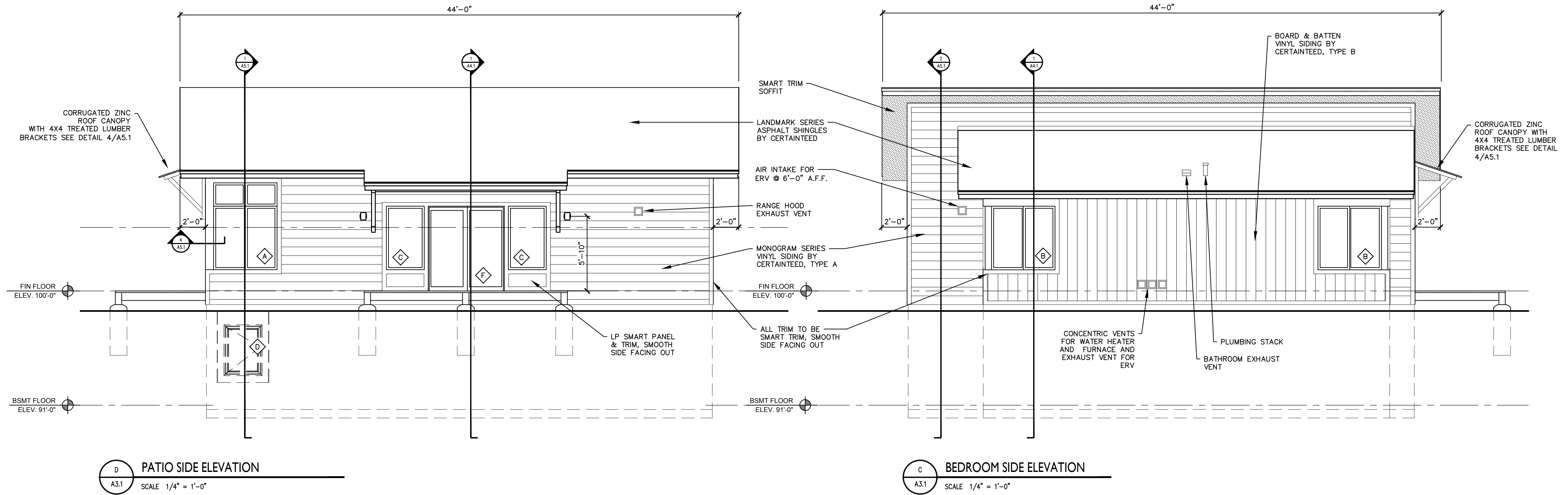
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project number  
**18016**

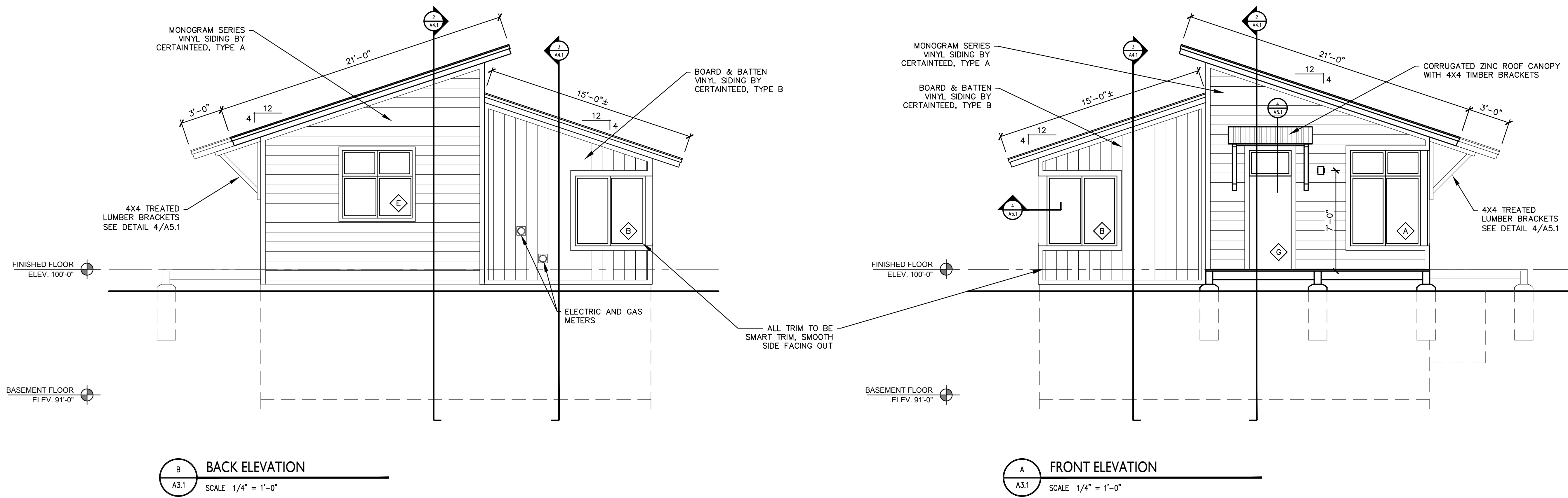
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**7.3.18**

sheet number

**A2.1**



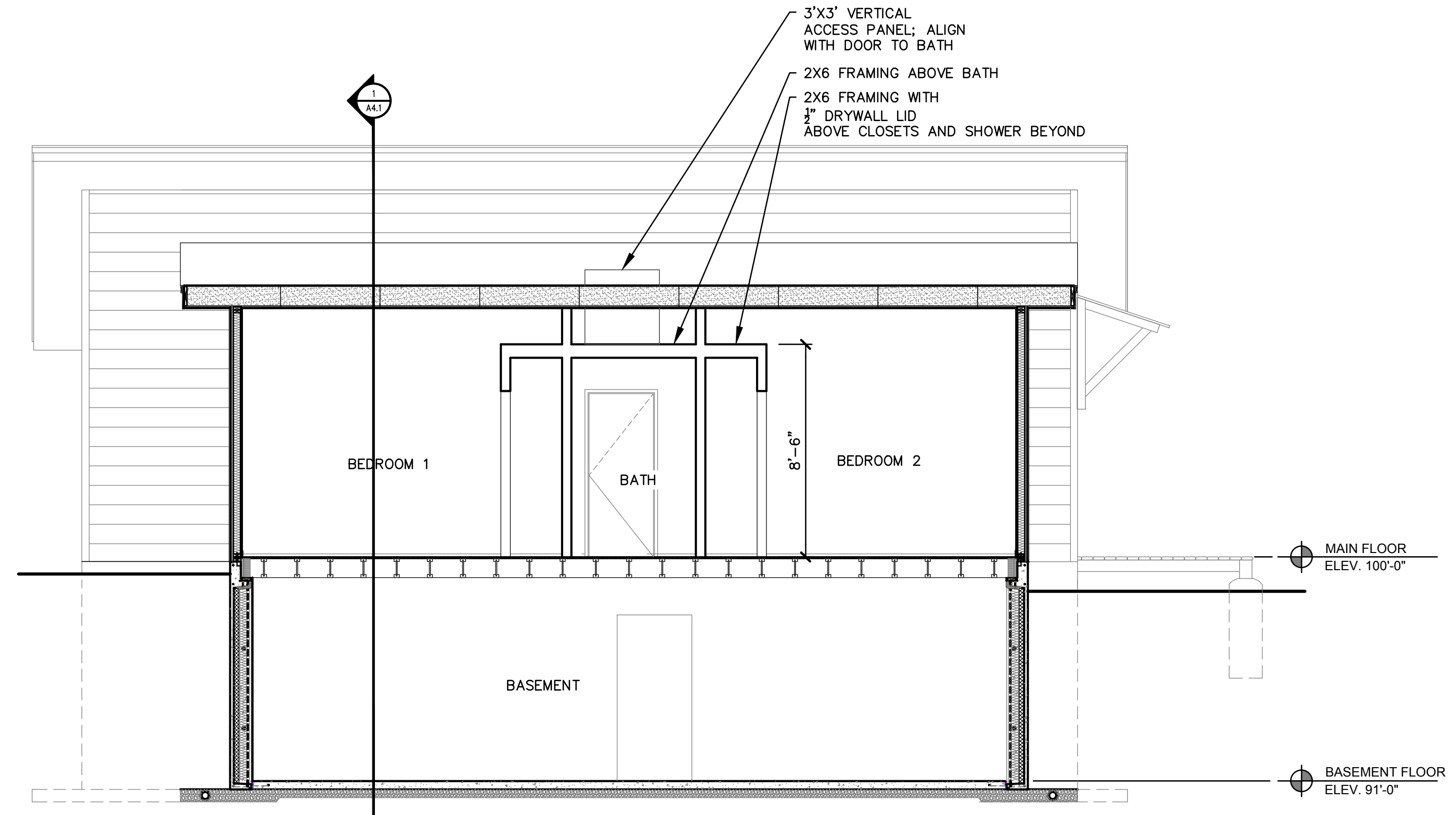
New Construction:  
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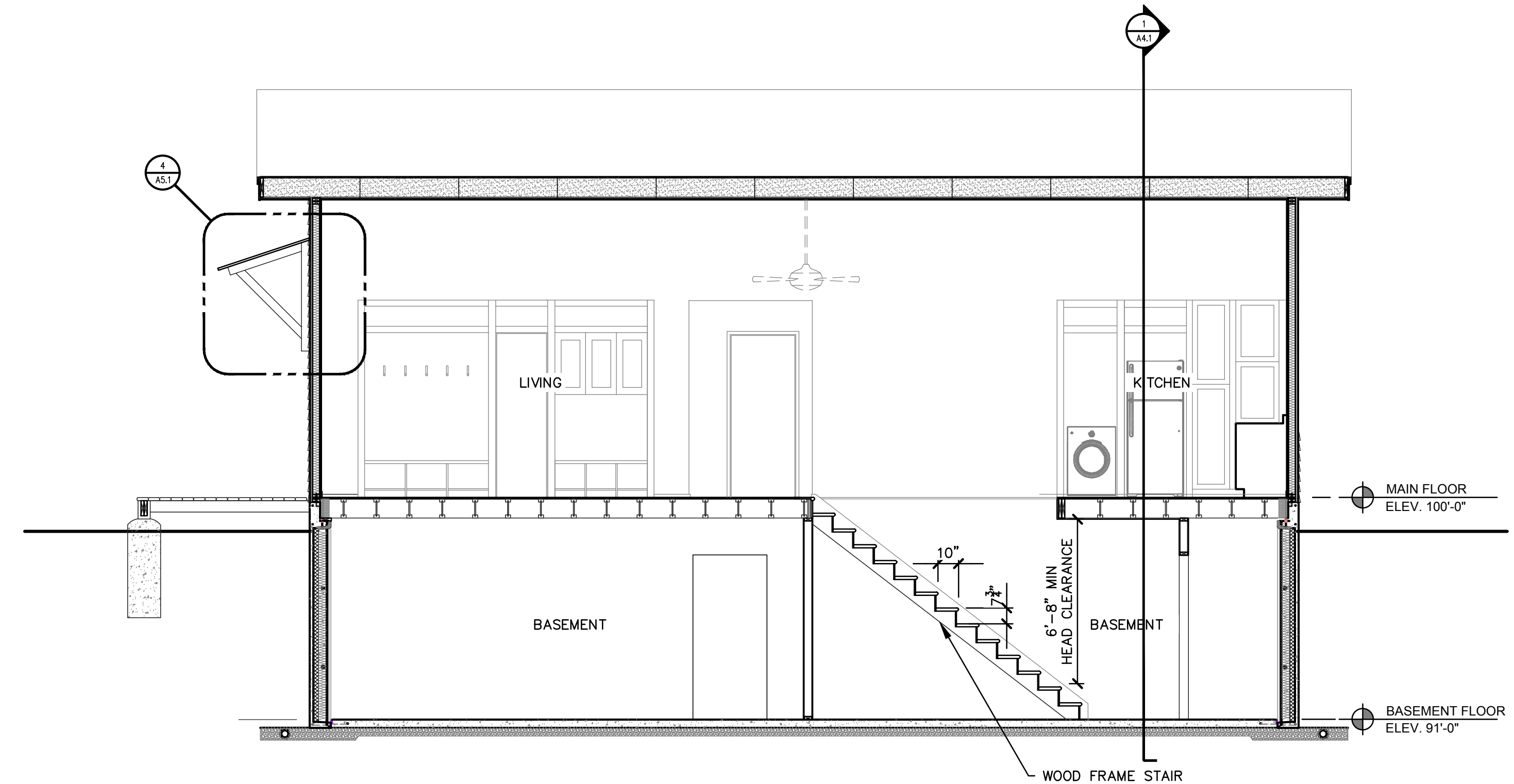
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project number	18016
drawing date	7.3.18
sheet number	A3.1



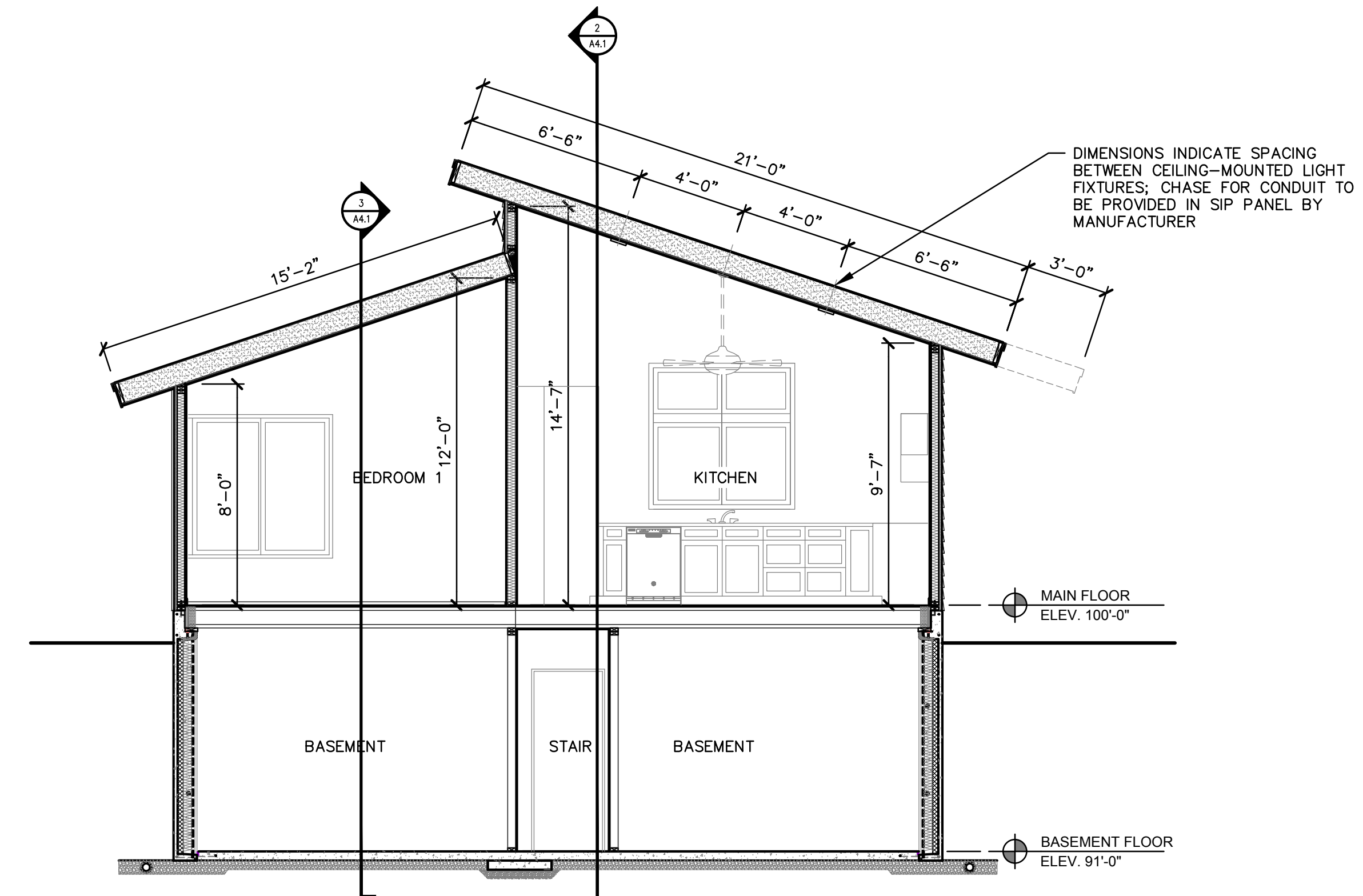
New Construction:  
**Eastside Gateway Project**  
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East Michigan Ave. Between Forseman Ave. & Phelps Ave.  
Kalamazoo, MI 49048



3 BUILDING SECTION  
A4.1 SCALE 1/4" = 1'-0"



2 BUILDING SECTION  
A4.1 SCALE 1/4" = 1'-0"



1 BUILDING SECTION  
A4.1 SCALE 1/4" = 1'-0"

sheet name	BUILDING SECTIONS
project number	18016
drawing date	7.3.18
sheet number	A4.1



New Construction:  
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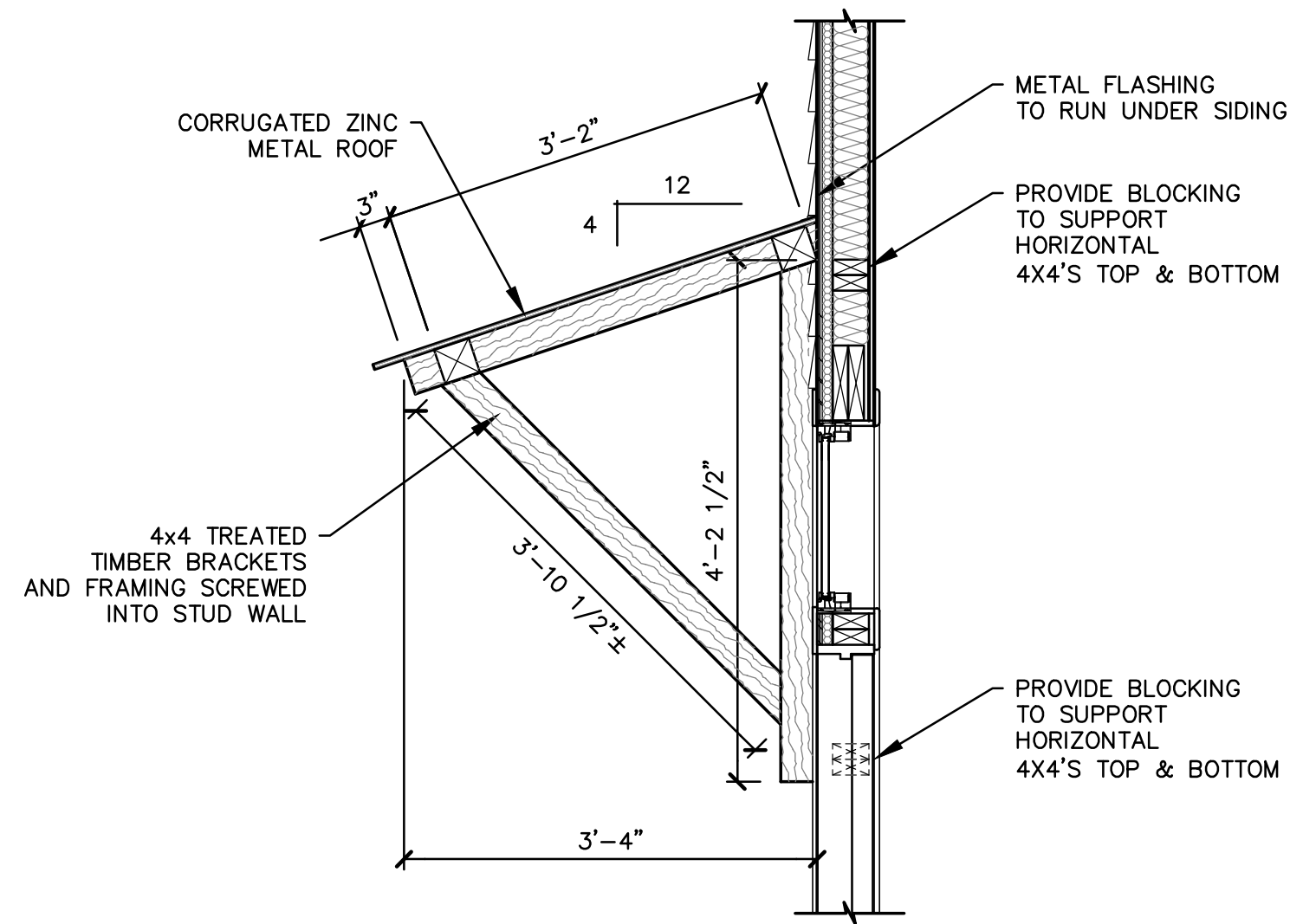
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project number  
**18016**

drawing date  
**7.3.18**

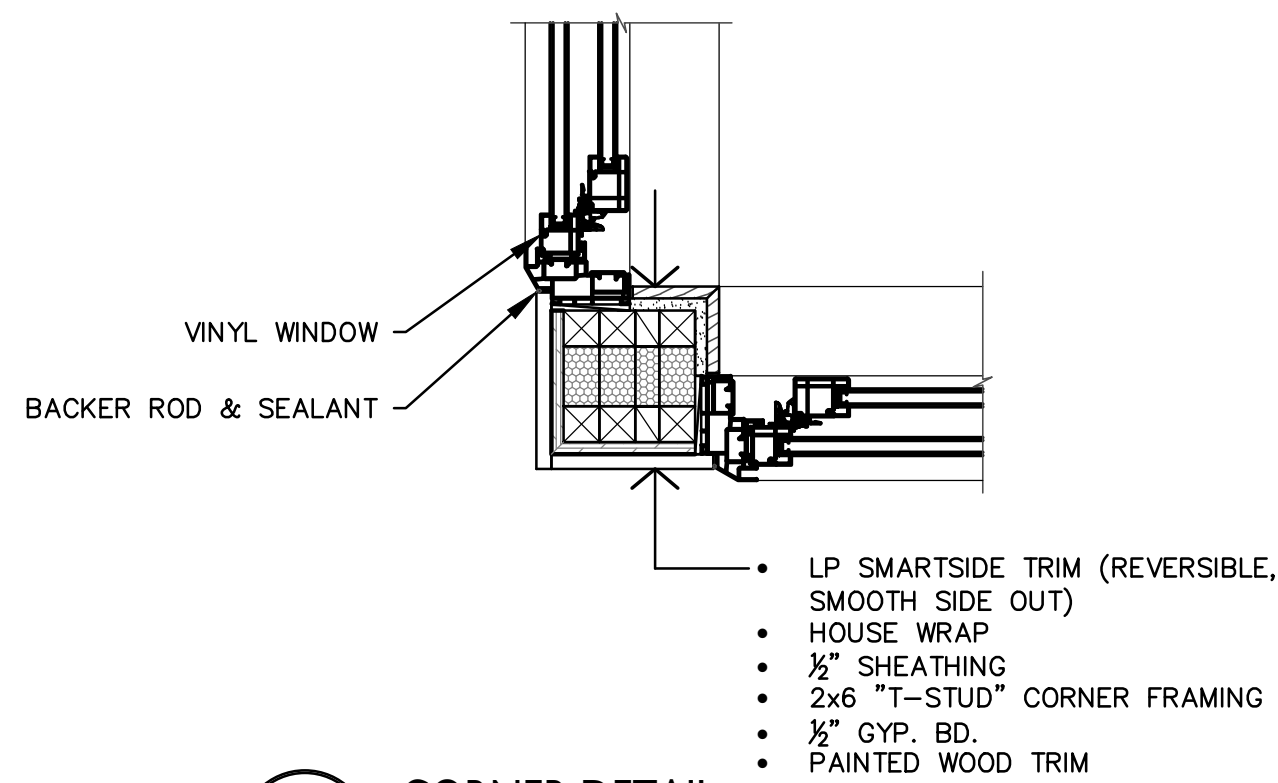
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**A5.1**

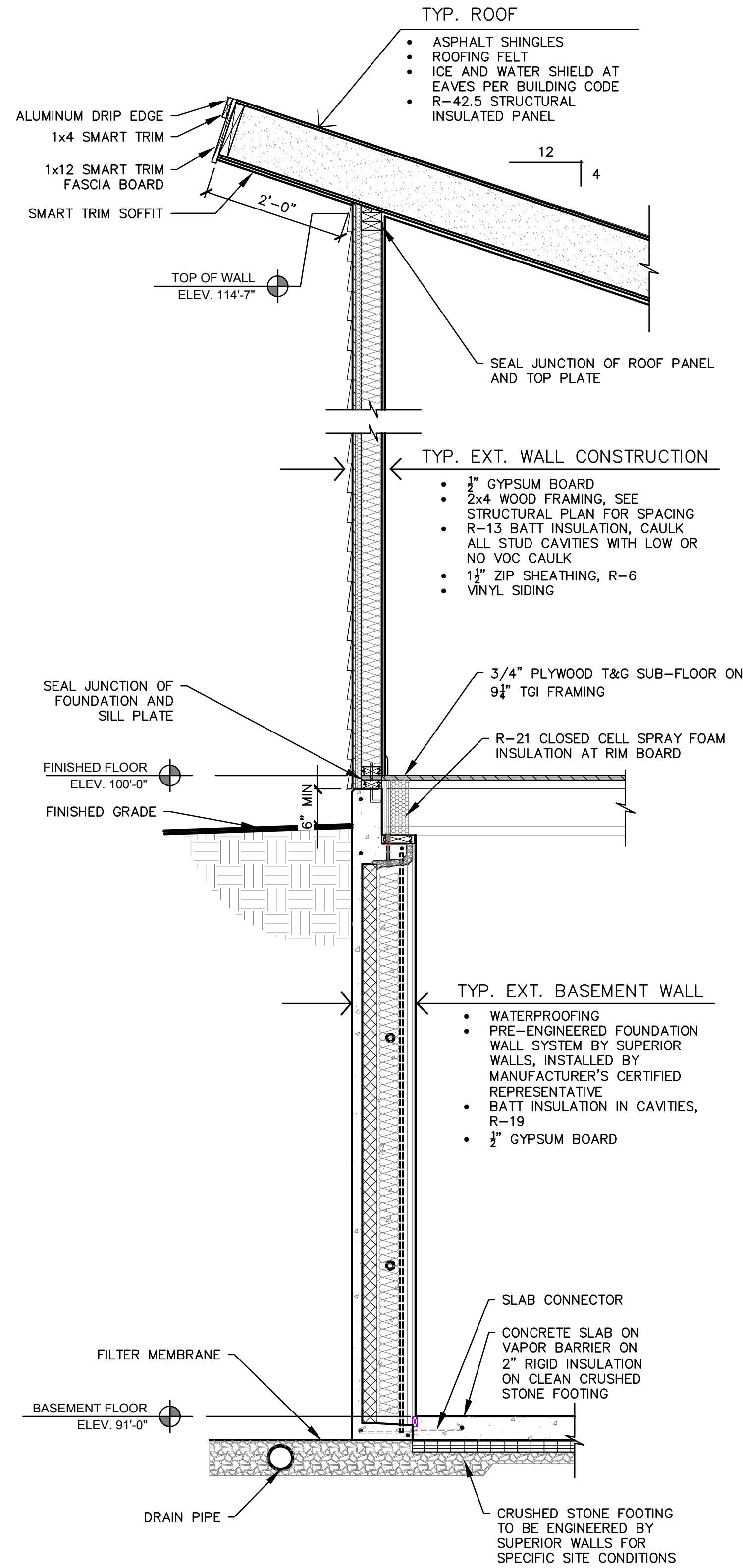


NOTE:  
PORCH BRACKETS NEAR SLIDING DOOR  
SIMILAR MINUS CORRUGATED METAL ROOF

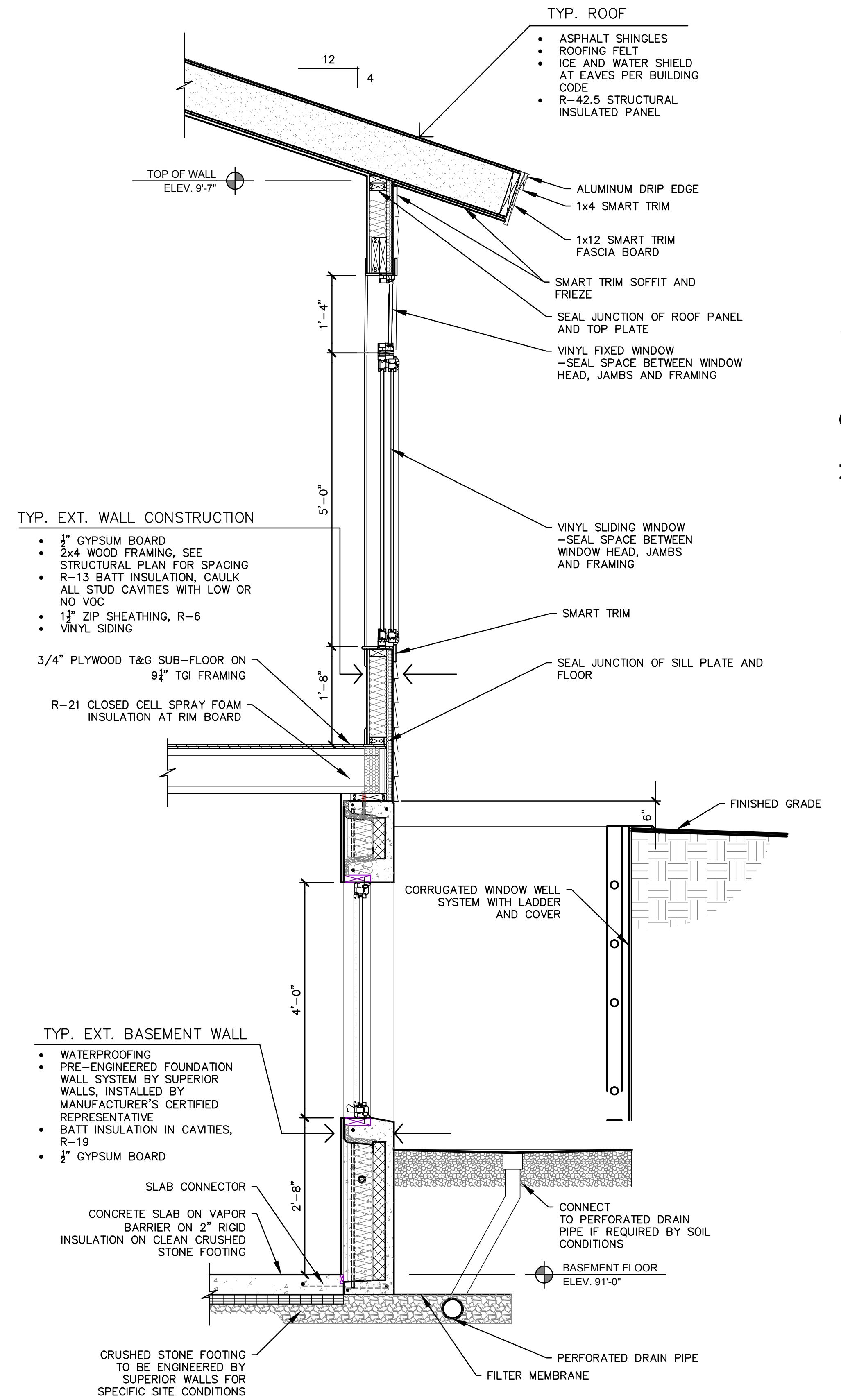
**4 FRONT DOOR BRACKET DETAIL**  
A5.1 SCALE 3/4" = 1'-0"



**3 CORNER DETAIL**  
A5.1 SCALE 1 1/2" = 1'-0"



**2 WALL SECTION**  
A5.1 SCALE 3/4" = 1'-0"

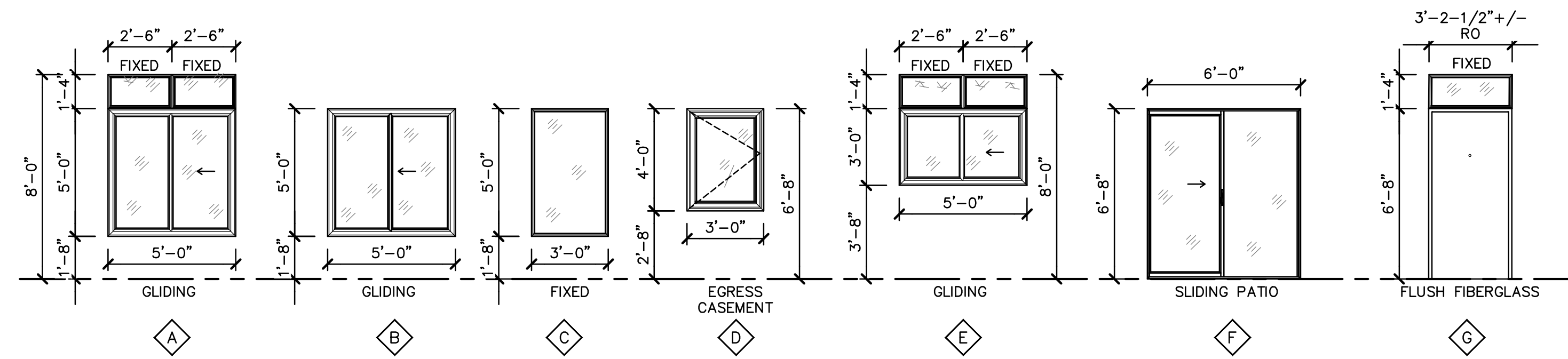


**1 WALL SECTION @ EGRESS WINDOW**  
A5.1 SCALE 3/4" = 1'-0"



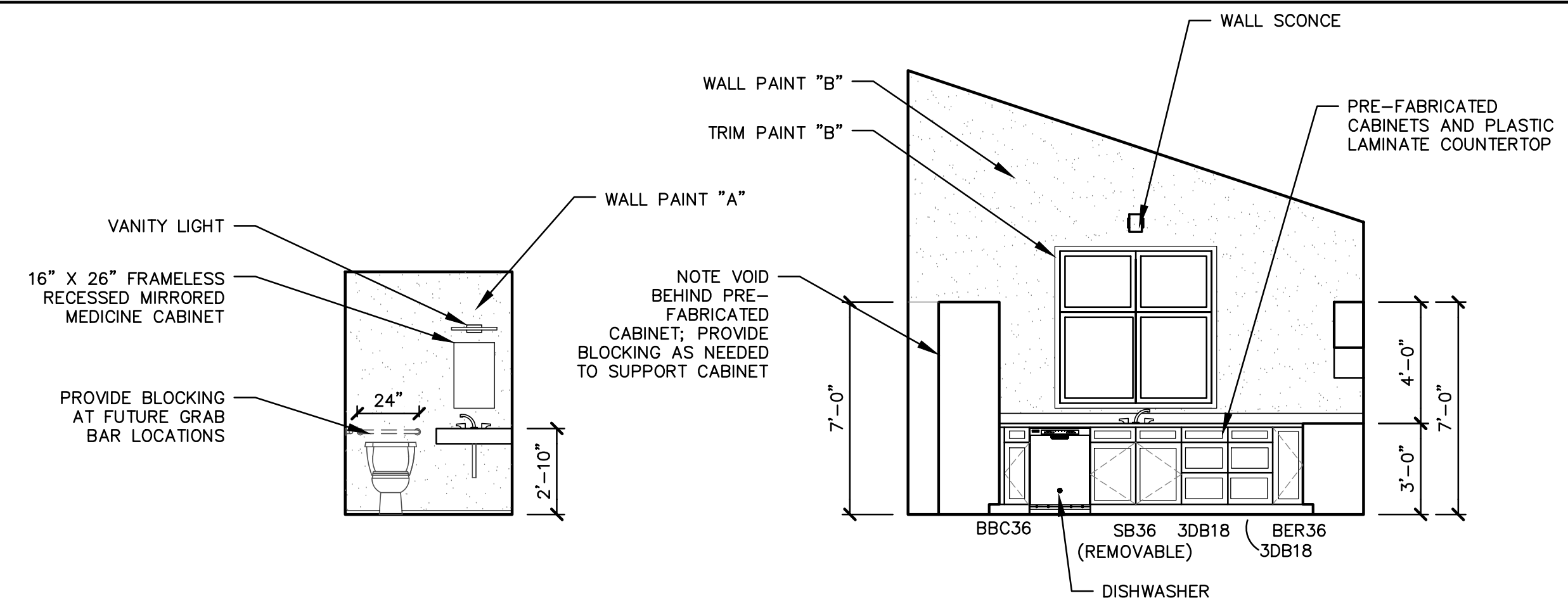
**NOTES:**

1. WINDOWS AT FIRST FLOOR TO BE PELLA ENCOMPASS ENERGY STAR.
2. BASEMENT EGRESS WINDOW TO BE PELLA 250 SERIES, ENERGY STAR.
3. SLIDING DOOR TO BE PELLA ENCOMPASS ENERGY STAR.
4. FRONT DOOR AND TRANSOM TO BE FLUSH ENTRY DOOR BY THERMA-THRU.
5. GARAGE DOOR TO BE FLUSH PANEL OVERHEAD DOOR BY C.H.I.
6. SEE GENERAL NOTES ON SHEET A1.0 FOR ADDITIONAL INFORMATION.
7. BUILDER TO VERIFY ROUGH OPENING SIZES.

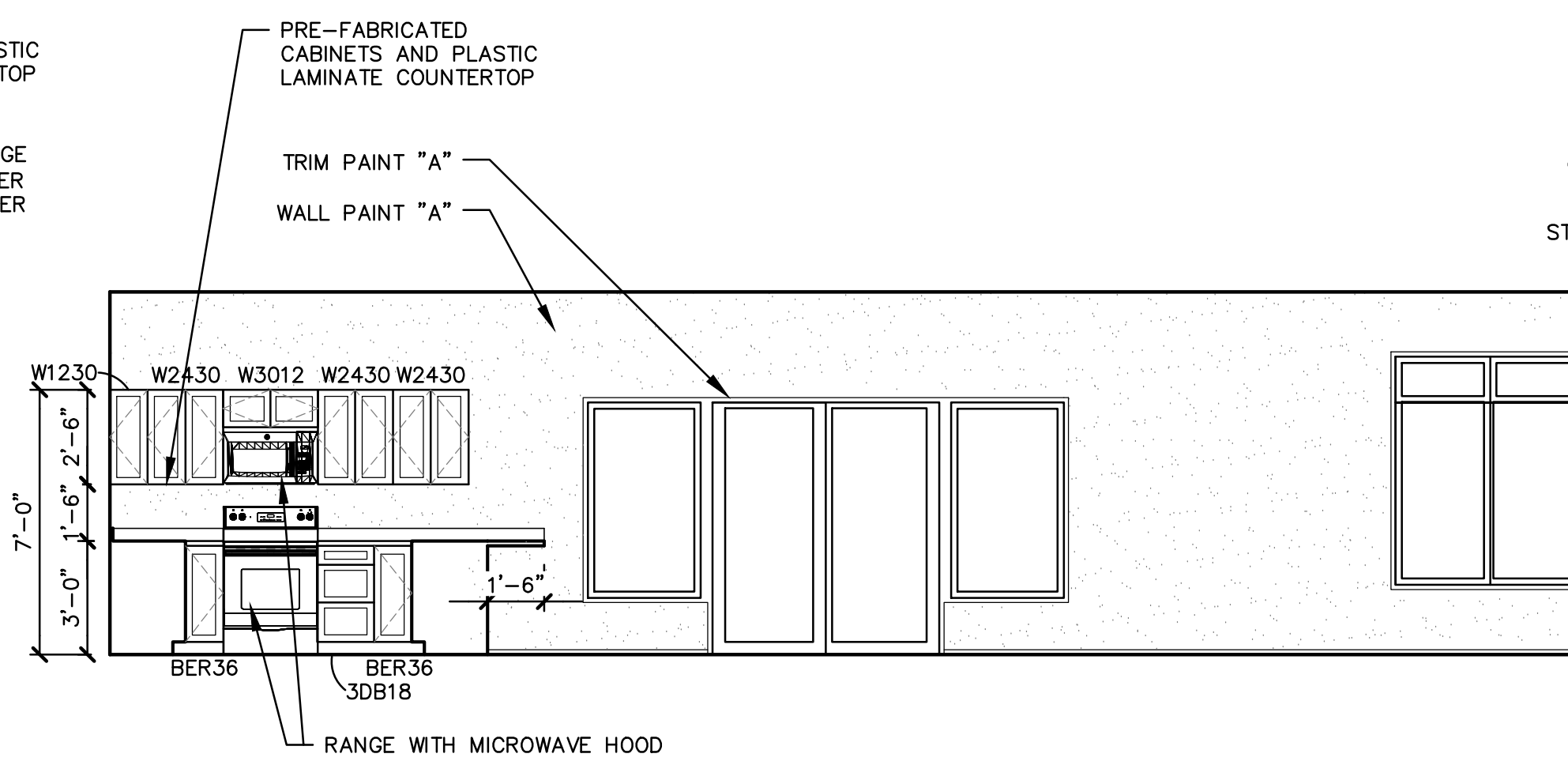
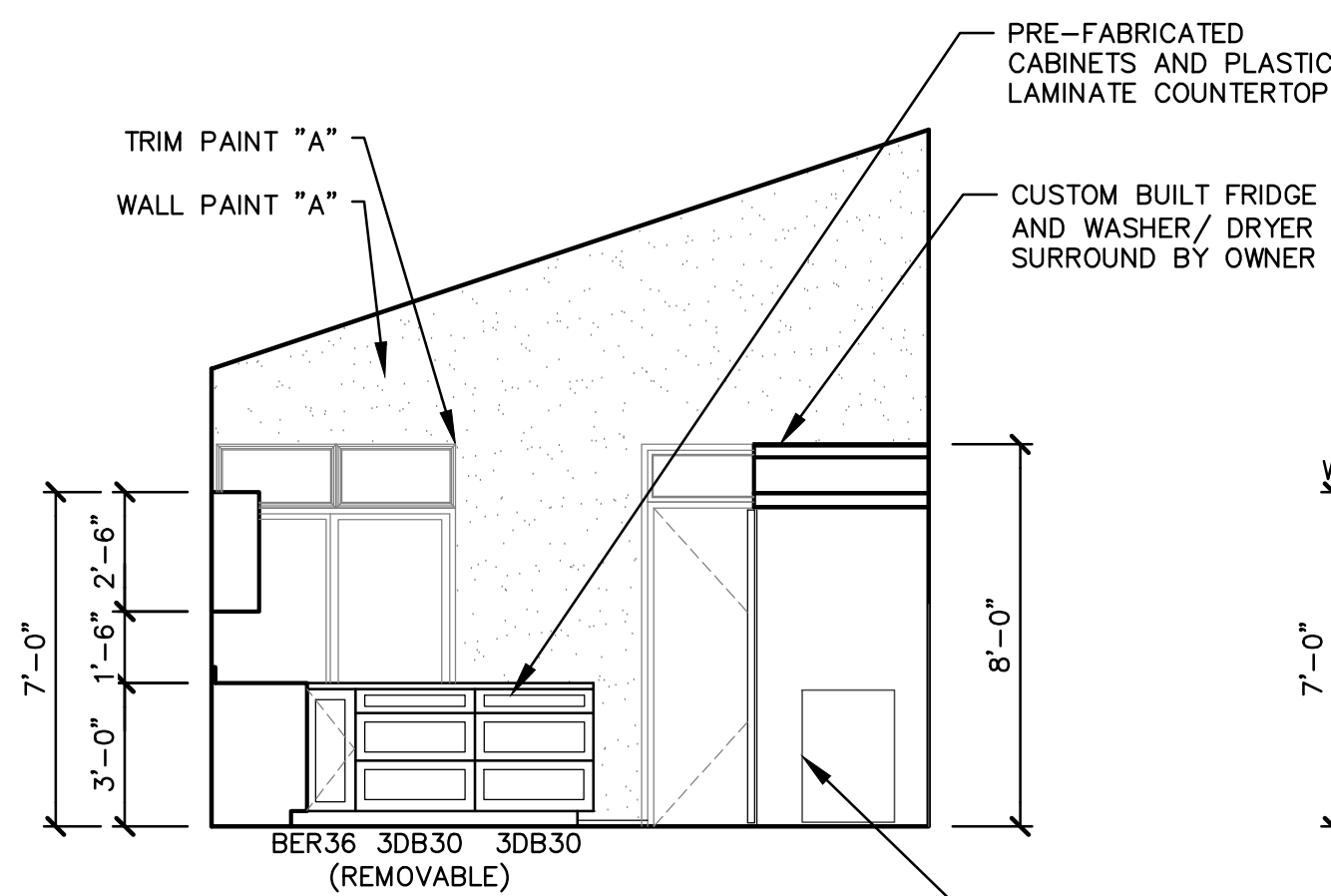
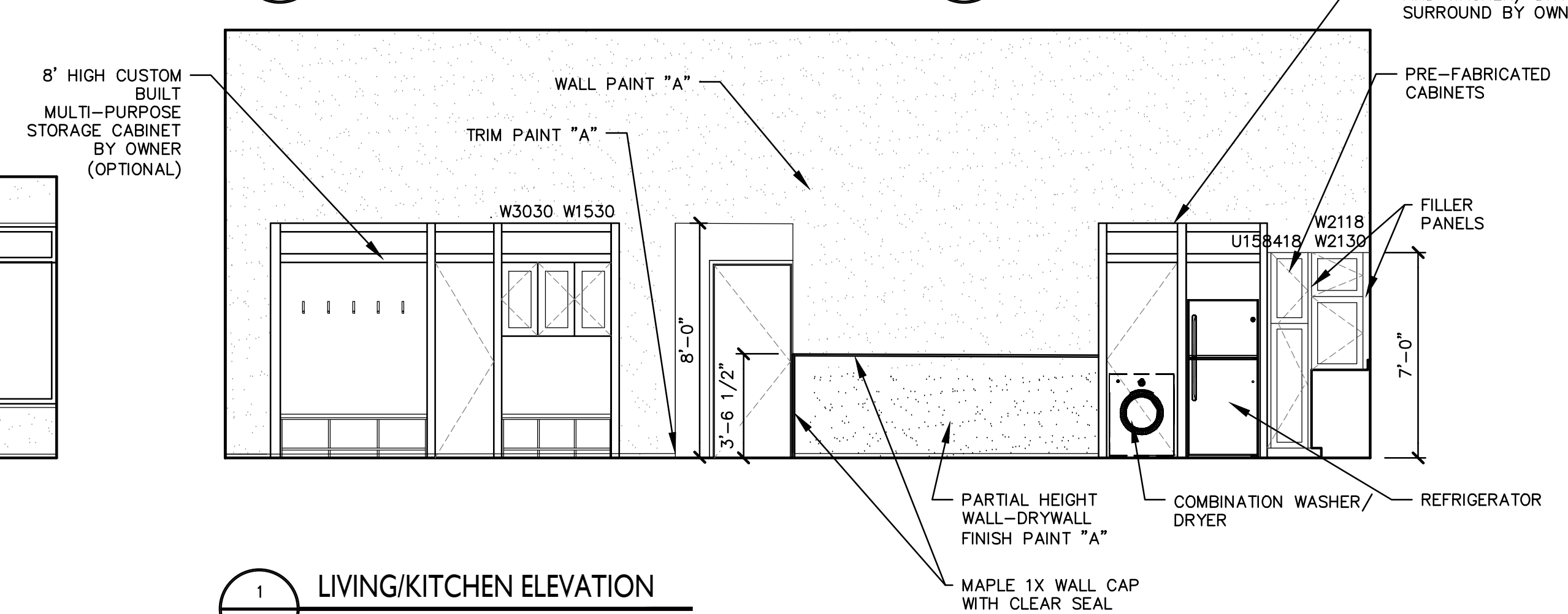


**WINDOW & EXTERIOR DOOR TYPES**

SCALE: 1/4" = 1'-0"



**5 BATHROOM ELEVATION**  
A6.1 SCALE 1/4" = 1'-0"



sheet name

INTERIOR ELEVATIONS

project number

**18016**

drawing date

7.3.18

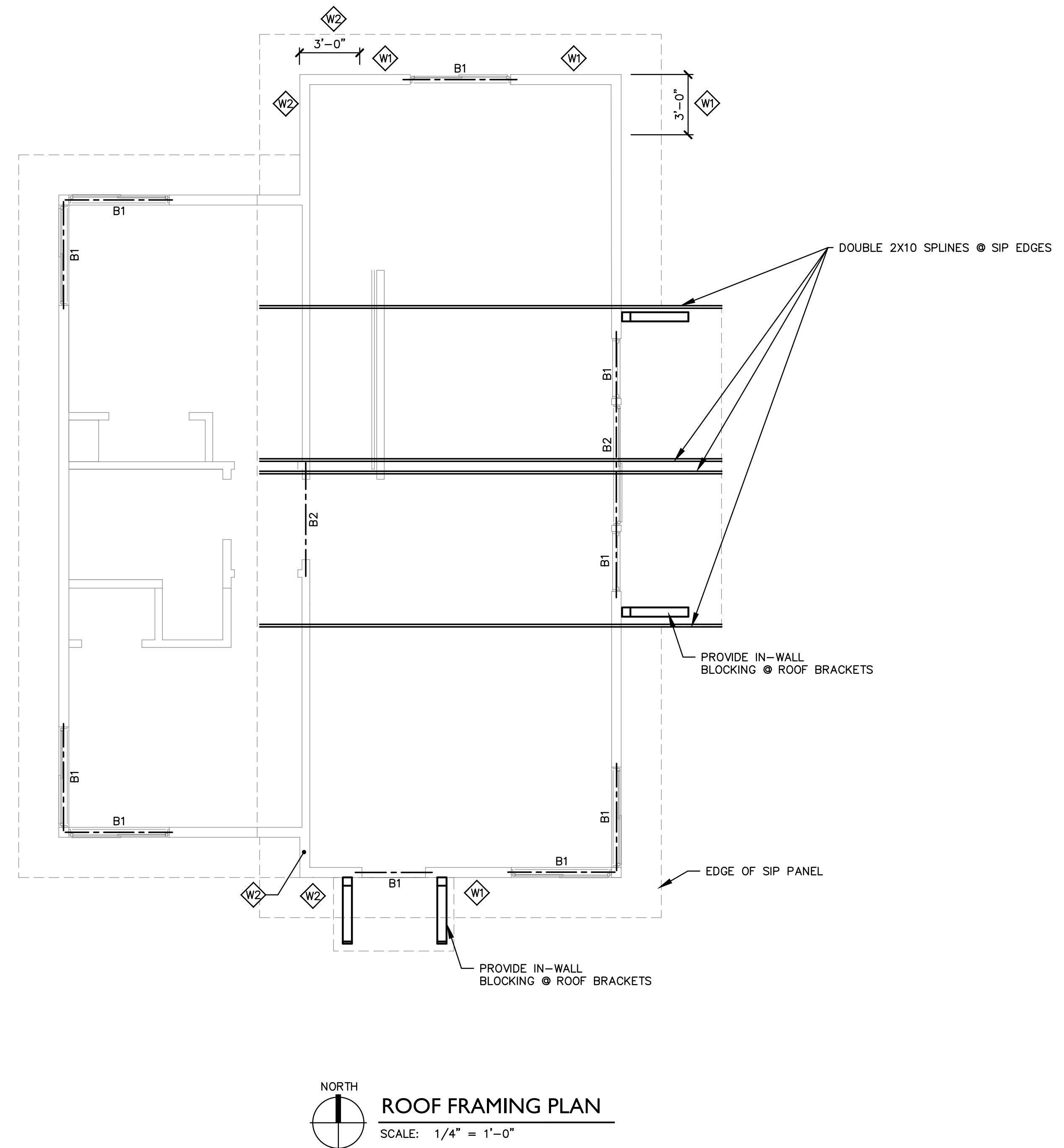
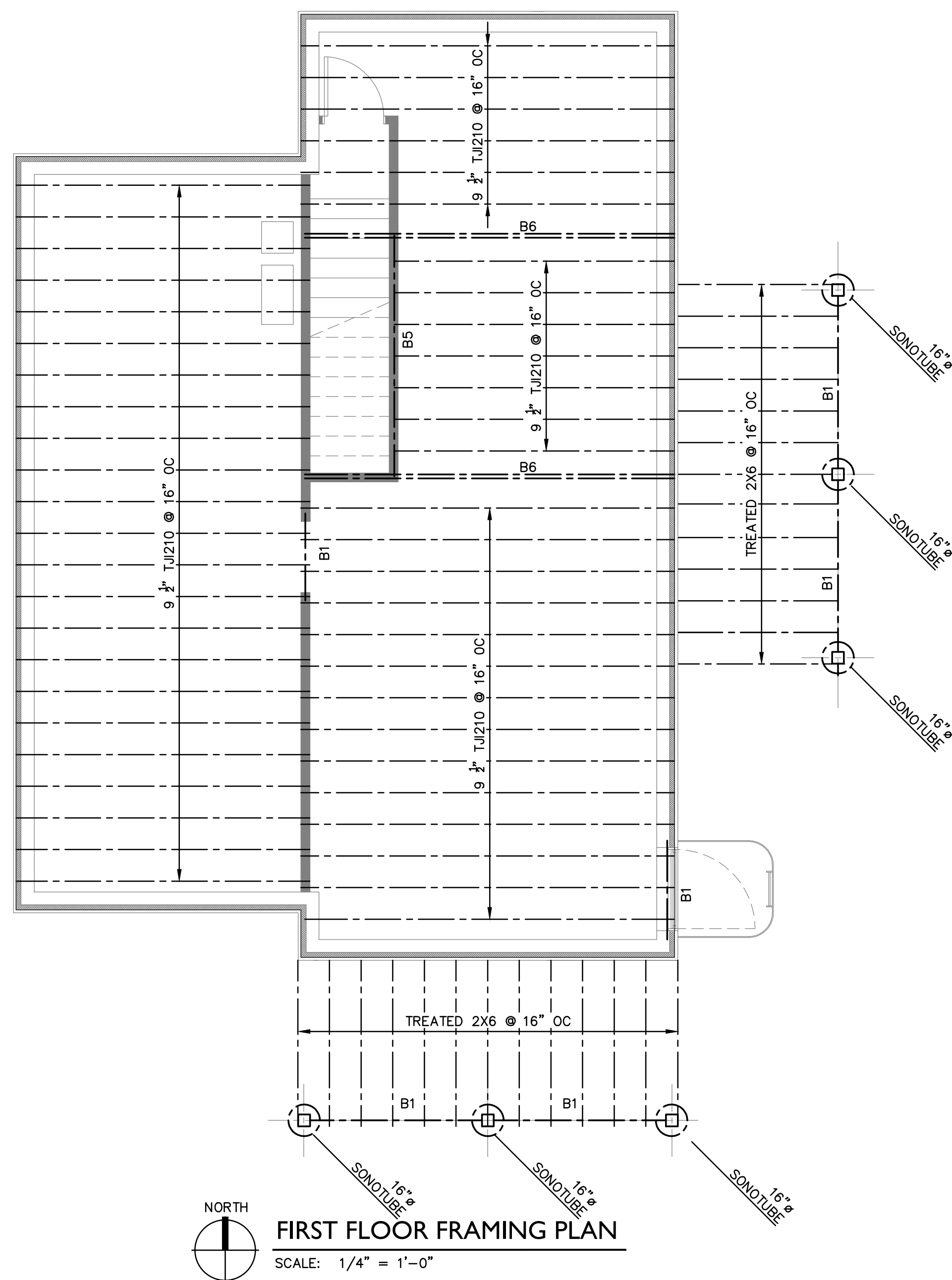
sheet number

**A6.1**

WALL SCHEDULE		
MARK	NO. OF STUDS & SPACING	SPECIES & GRADE
W1	2X4 @ 16"	NO. 2 D.F.
W2	(2) 2x4 @ 16"	NO. 2 D.F.

NOTE: ALL WALLS TO BE 2X4 @ 2'-0" D.F. NO. 2 U.N.

BEAM SCHEDULE		
MARK	SIZE	SPECIES & GRADE
B1	(2) 2X8	SPF NO. 2
B2	(2) 2X10	SPF NO. 2
B3	(2) 2X12	SPF NO. 2
B4	(3) 2X12	SPF NO. 2
B5	(2) 1 1/2" X 9 1/2"	1.9E LVL MICROLAM
B6	(3) 1 1/2" X 9 1/2"	1.9E LVL MICROLAM



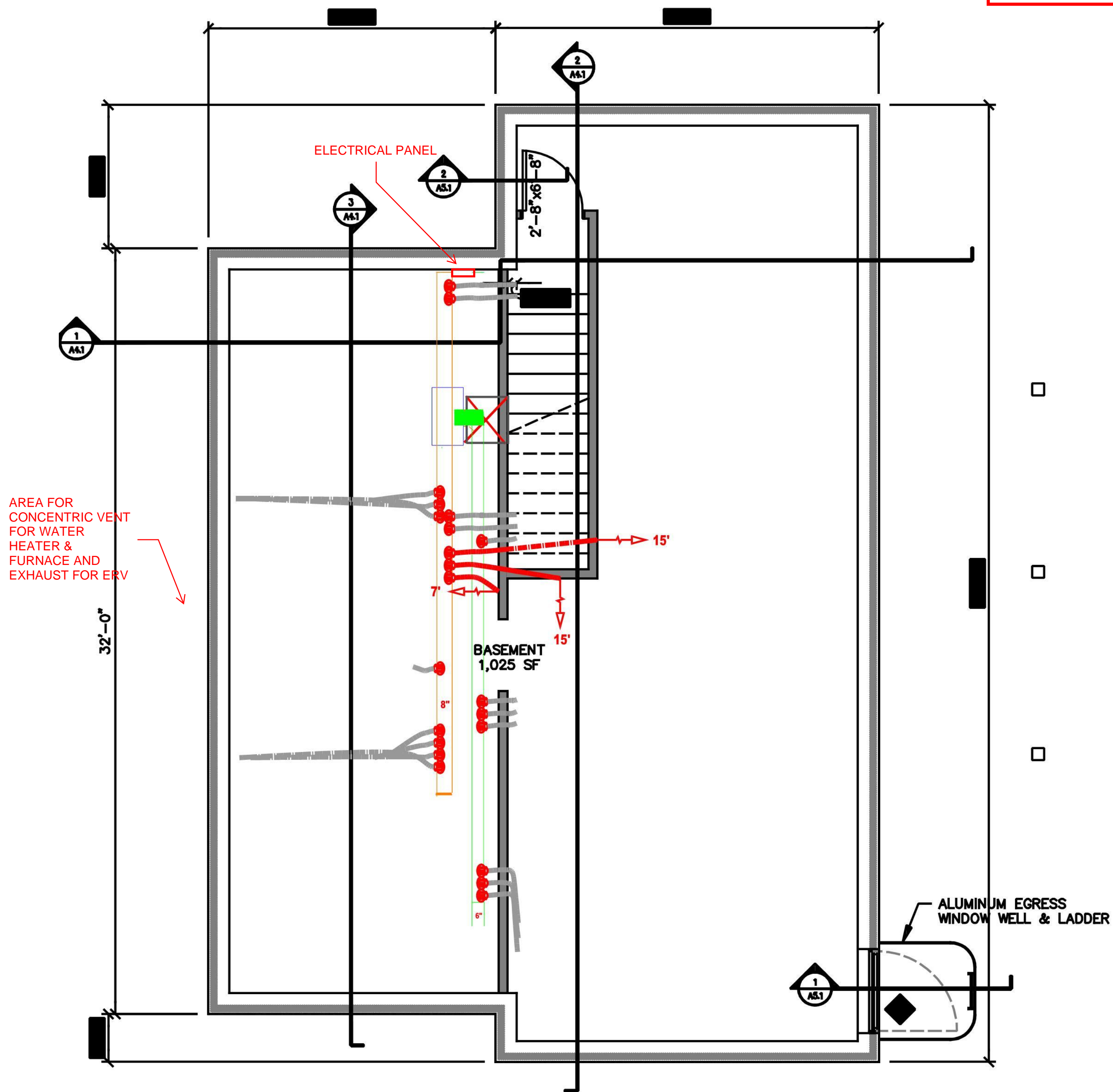
New Construction:  
**Eastside Gateway Project**  
**2 Bedrooms**  
East Michigan Ave. Between Forseman Ave. & Phelps Ave.  
Kalamazoo, MI 49048

sheet name  
**FRAMING PLANS**  
project number  
**18016**  
drawing date  
7.3.18  
sheet number

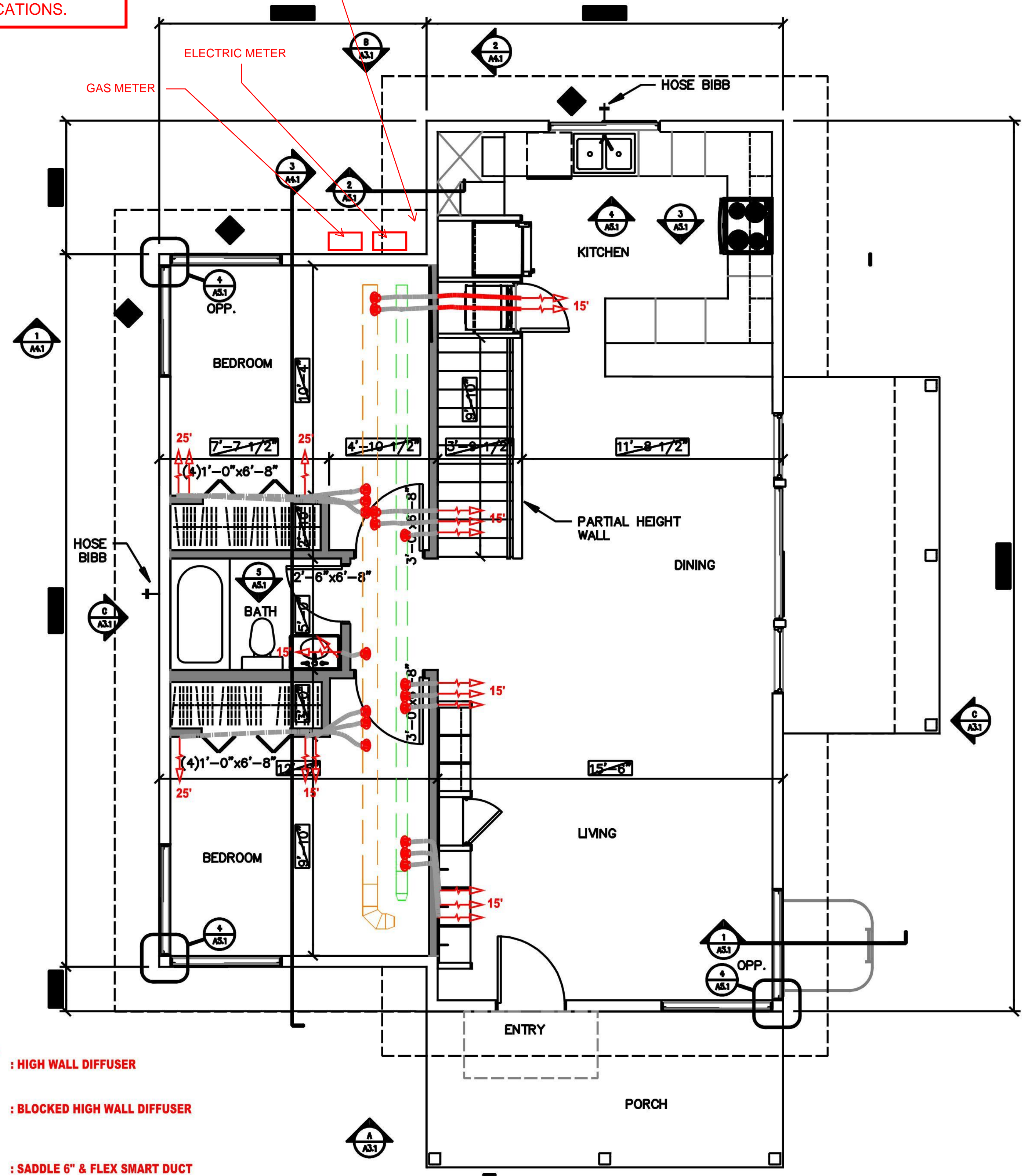
**SI.1**  
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ENERGY RECOVERY VENTILATOR  
PROVIDE AND INSTALL AN ENERGY  
RECOVERY VENTILATOR - BROAN ERV140  
ECM - SEE NOTES ON THIS SHEET FOR  
INTAKE AND EXHAUST LOCATIONS.



NORTH  
**BASEMENT PLAN**



NORTH  
**MAIN LEVEL PLAN**

- : HIGH WALL DIFFUSER
- : BLOCKED HIGH WALL DIFFUSER
- : SADDLE 6" & FLEX SMART DUCT
- : SADDLE 8" & FLEX SMART DUCT
- : 8"Ø ROUND TRUNK No.1
- : 6"Ø ROUND TRUNK No.2

sheet name

project number

**18016**

drawing date

7.3.18

sheet number

**MI.I**





ENTER DATA IN PINK CELLS - HIDE UNNECESSARY LINES

THIS SPREADSHEET SHOULD BE ATTACHED TO THE DUCT LAYOUT FOR THE INSTALLER  
NOTE TO INSTALLER: CONTACT DUCT DESIGNER FOR MAJOR DISCREPANCIES OF SMART DUCT LENGTHS OR POSITIONS  
NOTE TO INSTALLER: THIS SYSTEM MUST BE INSTALLED ACCORDING TO INSTRUCTIONS IN SMART DUCT MANUAL K40240  
SEE INSPECTION SHEET AT THE END OF THE SMART DUCT MANUAL

<b>Project</b>	2 Bedroom		<b>Ref#</b>				
<b>Builder</b>	Kalamazoo County Land Bank		<b>Designer</b>	Kassandra			
heat loss	22375	CFM/ton required	400	Furnace type	Gas	# of zones	1
heat gain	14024	Furnace orientation	Upflow				
Furnace	C030-M-V	Output	28860	CFM heat	420		
Cooling	COND-18	Output	18000	CFM cool	600		
CFM/RTU (Cool):	0.0333	Room Calc. CFM	593				
CFM/RTU (Heat):	0.0146	Max system CFM	600	Approx # diffusers	18	Real # diffusers	21

	Load (BTU)						Air distribution								
	Heating design	Heating real	ratio heating	Cooling design	Cooling real	ratio cooling	CFM Heat design	CFM Cool design	Main trunk	Flex length [']	Nominal calculated CFM	Max design CFM	Proposed nb of diffusers	Real nb of diffusers	Blocked diffuser (y or n)
<b>Basement</b>	2052	3030	146%	0	3893	#DIV/0!	30	0							
diffusers		1515			945										
Utility bsmt	1409	1792	126%	0	1118	#DIV/0!	20	0							
diffusers		1792			1118										
<b>Total floor or zone 1</b>	<b>3457</b>	<b>4823</b>	<b>140%</b>	<b>0</b>	<b>3008</b>	<b>#DIV/0!</b>	<b>50</b>	<b>0</b>				<b>99</b>	<b>50</b>	<b>2</b>	<b>3</b>
<b>Main level</b>	4247	9091	214%	3978	5670	143%	62	133							
Living		1515			945										
diffusers		1515			945										
Bath	294	0	0%	48	0	0%	4	2							
diffusers		0			0										
Stair	485	1515	312%	79	945	1196%	7	3							
diffusers		1515			945										
Kitchen	2805	2456	87%	1783	1532	86%	41	59							
diffusers		1228			769										
Bedroom 1	3242	4259	131%	3062	2650	82%	47	102							
diffusers		1515			945										
Bedroom 2	2982	3685	124%	2430	2298	95%	43	81							
diffusers		1228			769										
Dining	2884	3030	105%	1602	1890	119%	42	53							
diffusers		1515			945										
<b>Total floor or zone 2</b>	<b>16939</b>	<b>24037</b>	<b>142%</b>	<b>12982</b>	<b>14992</b>	<b>115%</b>	<b>247</b>	<b>433</b>				<b>494</b>	<b>440</b>	<b>21</b>	<b>18</b>
<b>TOTALS</b>															
Total sensible	20396	28860	141%	12982	18000	139%									
Latent															
Total	20396	28860	141%	12982	18000	136%	297	433				<b>593</b>	490	23	21

Trunk	Diameter	TOTAL CFM	Max CFM/trunk	Length (feet)	Elbow (90°)	Elbow (45°)	Equivalent length
1	8	375	420				0
2	6	218	280				0
3	0	0					0
4	0	0					0
5	0	0					0
6	0	0					0
7	0	0					0
8	0	0					0
9	0	0					0



Date

<b>Project</b>	2 Bedroom	<b>Ref#</b>	
<b>Builder</b>	Kalamazoo County Land Bank		

HVAC in a Box bill of material; Right Sized System in combination to the Smart Duct

Product	Product Code:	Units Required:	Description:
Furnace	C030-M-V	1	Chinook 30,000 BTU modulating, 1/2 HP, 95% AFUE, 40 to 100% modulating
Alizé heat pump	COND-18	1	Outdoor condensing unit 1.5 Ton 21 SEER, 25 to 100% modulation. Includes Deltson Interface K03081
A coil - evaporator - Vertical	CC1.5-13.5-V	1	Indoor cooling coil; 1.5 Ton
A coil - evaporator - Multiposition			
A coil base (optional)	B40693-01	1	Evaporator Support
Communicating Thermostat	R02P032	1	
Modulating Thermostat			
Two stage Thermostat			
Smart Duct 15'	Z13I012	7	15ft of flex duct 2.5 dia.
Smart Duct 25'	Z13I008	16	25ft of flex duct 2.5 dia.
6" Saddle	B40705	8	To connect Flex Smart Duct to a 6 in dia. trunk
8" Saddle	B40706	15	To connect Flex Smart Duct to a 8 in dia. trunk
90 deg collar	B40736	23	Collar attaching the Smart duct to the wall with a 90 deg. elbow
Diffuser	B40708	23	Screwed to the collar on the face of the wall
Temporary construction cap	B40759	21	Installed to the collar temporarily during construction to prevent debris entering the system
Diffuser Restrictor	B40701	21	Blank over the diffuser with different knockouts sizes for inspector
Bottom return furnace base (optional)	B40691-01	1	Bottom Return Base
Downflow base (optional)			
Zoning system (optional)			
Zoning distribution box (optional)			

For saddles, Smart ducts, collars and diffusers, 10% more matl is added than required in case of damaged material on job site.

Length of each cut = total used --> loss  
 6x 25 = 25 --> 0  
 1x 25 = 15 + 7 --> 3  
 6x 25 = 15 --> 10  
 7x 15 = 15 --> 0

sheet name

project number

18016

drawing date

7.3.18

sheet number